



**THE CORPORATION OF THE TOWNSHIP OF WEST LINCOLN
COMMITTEE OF ADJUSTMENT
AGENDA**

Wednesday, June 25, 2025, 7:00 p.m.

Township Administration Building

318 Canborough Street, Smithville, Ontario

Pages

1. CHAIR

The Chair will call to Order the evening's proceedings.

2. DISCLOSURE OF PECUNIARY INTEREST AND/OR CONFLICT OF INTEREST

3. REQUEST FOR WITHDRAWAL AND/OR ADJOURNMENT

There are no requests at this time.

4. APPLICATIONS

- a. Consent Applications B02/2025WL –1000581360 Ontario Inc.,
B03/2025WL–Melissa Hill Inc., & B04/2025WL –Canadian Reformed
School (Agent, UpperCanada Consultants –Callum Gomez)
Parcels: PIN No. 46050-001, PIN. No. 46050-0016, and PIN. No. 46050-
0275

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This proposal includes three applications, two boundary adjustments referring to Survey Sketch 15-16-105-06 and a lot creation severance referring to Survey Sketch 15-16-105-07.

The first boundary adjustment is proposing Part 3 (2.37ha) on Survey Sketch 15-16-105-06 to be severed and added to Part 2 (1.17ha) through this application and would be consolidated into a larger parcel for future restricted employment uses as outlined in the Spring Creek Secondary Plan (SCHSP).

Additionally, the second boundary adjustment is proposing Part 1 (2.26 ha) on Survey Sketch 15-16-105-06 to be severed and added to Part 4 (4.96ha) through this application and would be consolidated into one larger parcel to implement the SCHSP for residential and employment uses.

Lastly, the lot creation severance application is proposing Part 1 (4.73ha)

on Survey Sketch 15-16-105-07 to be severed from the subject property and retained for future employment uses. According to the SCHSP, the retained lands are intended to remain as institutional and the severed lands as restricted employment. The balance of PIN. No. 46050-0275 results in a lot creation as the lands are not merging with the abutting parcels.

If granted, together these applications would realign this area with the intended SCHSP to facilitate future residential, employment, and institutional uses.

- b. Minor Variance Application A07/2025WL – Peter and Lisa Vogel
Property Address: 953 Boyle Road.

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This application is seeking relief from Table 1-2 Regulations for Accessory Buildings and Structures in Non-Agricultural Zones (found in Part 3) of the Township's Zoning By-law 2017-70, as amended, to construct a detached accessory building with a total area of 185 square metres and located in the rear yard of the property.

A variance is requested for an increased ground floor area of a building no greater than 185 square metres, whereas, 120 square metres is the maximum ground floor area permitted for an accessory building in a Residential Low Density 'R1A' zone. Therefore, the requested relief is for 65 square metres.

A variance is requested for an increased accessory lot coverage. The subject property currently has a detached private garage (82 square metres) and a chicken coop (8.5 square metres), and with the proposed accessory building, the total accessory lot coverage would be 275.5 square metres. Table 1-2 identifies 200 square metres as the maximum lot coverage for accessory buildings or structures within a residential zone. Therefore, the requested relief is for 75.5 square metres.

In addition, upon further review of the elevation drawings provided after the release of the notice, Staff identified a variance to allow a maximum accessory building height of 6 metres, measured from grade to the midway point between the eaves and the roof and ridge, whereas 5 metres is the maximum permitted.

5. MINUTES FOR APPROVAL

There are no minutes for approval at this time.

6. NEW BUSINESS

7. ADJOURNMENT

DATE: June 25, 2025

REPORT NO: COA-10-2025

SUBJECT: **B022025WL, B032025WL, B042025WL – Recommendation Report - Application for Consent (Land Swap) – Upper Canada Consultants**

CONTACT: Stephanie Pouliot, Secretary Treasurer of the Committee of Adjustment

OVERVIEW:

A Consent application has been submitted by Callum Gomez (Upper Canada Consultants) on behalf of three property owners for the subject lands (being the following parcels referred to as PIN. No. 46050-0015, PIN. No. 46050-0016, and PIN. No. 46050-0275).

This application consists of three applications, two boundary adjustments (referring to B02/2025WL and B03/2025WL and Survey Sketch 15-16-105-06) and a lot creation severance (B04/2025WL) referring to Survey Sketch 15-16-105-07 for the balance of PIN. No. 46050-0275 which is not merging with the abutting parcels and resulting in a lot creation.

The first boundary adjustment is proposing Part 3 (2.37ha) on Survey Sketch 15-16-105-06 to be severed and added to Part 2 (1.17ha) through this application and would be consolidated into a larger parcel for future restricted employment uses as outlined in the Spring Creek Secondary Plan (SCHSP).

Additionally, the second boundary adjustment is proposing Part 1 (2.26 ha) on Survey Sketch 15-16-105-06 to be severed and added to Part 4 (4.96ha) through this application and would be consolidated into one larger parcel to implement the SCHSP for residential and employment uses.

Lastly, the lot creation severance application is proposing Part 1 (4.73ha) on Survey Sketch 15-16-105-07 to be severed from the subject property and retained for future employment uses. According to the SCHSP, the retained lands are intended to remain as institutional and the severed lands as restricted employment.

If granted, together these applications would reconfigure these parcels to align with the SCHSP policies to facilitate future residential, employment, and institutional uses.

Staff have reviewed this application and are satisfied that the proposal meets the intent of the Township policies for the future facilitation of the SCHSP and as such, recommend approval subject to the included conditions.

RECOMMENDATION:

That, the application for a Minor Boundary Adjustment Consent (B02/2025WL), submitted by Upper Canada Consultants on behalf of the property owner, 1000581360 Ontario Inc., as outlined in Report COA-10-2025, where Part 3 (2.37ha) on Survey Sketch 15-16-105-06 will be severed and added to Part 2 (1.17ha) a larger parcel for future restricted employment uses, BE APPROVED, subject to the following conditions:

That, the application for a Minor Boundary Adjustment Consent (B03/2025WL), submitted by Upper Canada Consultants on behalf of the property owner, Melissa Hill Inc., as outlined in Report COA-10-2025, where Part 1 (2.26 ha) on Survey Sketch 15-16-105-06 to be severed and added to Part 4 (4.96ha) for future residential and employment uses, BE APPROVED, subject to the following conditions:

That, the application for Consent (B04/2025WL), submitted by Upper Canada Consultants on behalf of the property owners, Canadian Reformed School Society of Smithville and Surrounding District Incorporated, as outlined in Report COA-10-2025, to permit the proposed lot creation where Part 1 (4.73ha) on Survey Sketch 15-16-105-07 will be severed from the subject property and retained for future employment uses, BE APPROVED, subject to the following conditions:

1. That the approval applies to the transaction as applied for.
2. That all municipal requirements be met to the satisfaction of the municipality including servicing connections if required, cash-in-lieu of park land dedication of 2% of the appraised value, property maintenance, compliance with Zoning By-law provisions for structures, and any related requirements, financial or otherwise.
3. That the applicant provides to the Township an appraisal of the subject property completed by a certified appraiser and pays the required parkland dedication fee.
4. That the applicant provides to the Township an appraisal of the subject property completed by a certified appraiser and pays the required parkland dedication fee being 2% of the Appraised Value for Part 2 on Survey Sketch 15-16-105-07.
5. That an undertaking be provided and certified by a solicitor that the ownership for Part 1 on Survey Sketch (15-16-105-06) will have a PIN consolidation with Part 4 on Survey Sketch (15-16-105-06) following consent approval to the satisfaction of the Township of West Lincoln.
6. That the ownership for Part 2 on Survey Sketch (15-16-105-06) will have a PIN consolidation with Part 3 on Survey Sketch (15-16-105-06) following consent approval to the satisfaction of the Township of West Lincoln.
7. That Parts 6 and 7 on Survey Sketch (15-16-105-06), being the proposed easements apply for private servicing on Parts 1 and 2 on Survey Sketch (15-16-105-06) following consent approval to the satisfaction of the Township of West Lincoln.
8. That the ownership for Part 1 on Survey Sketch (15-16-105-07) will have a PIN consolidation with Part 5 on Survey Sketch (15-16-105-07) following consent

- approval to the satisfaction of the Township of West Lincoln.
9. That Parts 3 and 4 on Survey Sketch (15-16-105-07), being the proposed easements apply for private servicing on Parts 1 and 5 on Survey Sketch (15-16-105-07, following consent approval to the satisfaction of the Township of West Lincoln.
 10. That the applicant applies for a zoning by-law amendment to realign with the intent of the Township's Spring Creek Heights Secondary Plan for this area.
 11. That the applicant applies for and enters into a site plan agreement with the Township.
 12. That a stormwater management plan be submitted and approved by the Township regarding the stormwater management of the subject lands to the satisfaction of the Township's Operations Development.
 13. That the applicant provides the Secretary-Treasurer with a copy of the transfer documents for the conveyance of the subject parcels, a legal description of the subject parcels to be registered, together with a copy of the deposited reference plans, if applicable, for use in the issuance of the Certificate of Consent.
 14. That a final certification fee (per application), payable to the Township of West Lincoln, be submitted to the Secretary-Treasurer.
 15. That all of these conditions shall be fulfilled within a period of two years after the giving of the Notice of Decision of the Committee of Adjustment, pursuant to Subsection 53(41) of the Planning Act, failing which this consent shall be deemed to be refused.

BACKGROUND:

The subject lands are located in the urban boundary of the Settlement Area of Smithville, specifically located east of Station Street, south of Spring Creek Road, west of Industrial Park Road, and north of the Ontario Railway Network (ORWN) railway tracks and Smithville's commercial core.

The subject lands are municipally known as 346 Station Street (8.74ac/3.54ha) and identified as PIN No. 46050-0016. This parcel is vacant, has been actively farmed in the past with field crops. There is also a small portion along the rear property line designated with Significant Woodlands as part of the Township's *Natural Heritage System*.

The northern abutting parcel (18.11ac /7.33ha) does not have a municipal address, however is identified as PIN No. 46050-0015. This parcel is also currently vacant and has been actively farmed in the past with field crops. There are also Significant Woodlands located at the south east corner of the property.

Similarly, the third parcel (22.04ac/8.92ha) located south does not municipally have an address and is identified as PIN. No. 46050-0275. This parcel is owned by Canadian Reformed School Society of Smithville, however operated by John Calvin School. The

parcel contains the school's baseball field, track, soccer fields, and a playground. The school will retain the playground structure and the soccer and baseball fields. The land to be severed for future restricted employment uses have also been vacant and actively farmed with field crops.

Please see Figure 1 for the breakdown of the subject lands provided in the Planning Brief completed by Upper Canada Consultants. The Planning Brief can be found in Attachment 4 for reference.

Figure 1: Breakdown of Subject Lands



The Township's Official Plan (OP) designates the subject parcels within the Spring Creek Heights Secondary Plan (SCHSP abbreviated reference).

This proposal includes three applications, two minor boundary adjustments referring to Survey Sketch 15-16-105-06 (found in Attachment 2) and a lot creation severance referring to Survey Sketch 15-16-105-07 (found in Attachment 3).

The minor boundary adjustment for Part 1 on Survey Sketch (15-16-105-06) is proposed to be swapped with Part 3 (having the same lot area), then Part 1 and Part 4 would be consolidated into one larger parcel that would implement the SCHSP for residential and employment uses. The second minor boundary adjustment for Part 3 and Part 2 on Survey Sketch (15-16-105-06) would be consolidated as a larger parcel dedicated for restricted employment uses.

The first boundary adjustment is proposing Part 3 (2.37ha) on Survey Sketch 15-16-105-06 to be severed and added to Part 2 (1.17ha) through this application and would be consolidated into a larger parcel for future restricted employment uses as outlined in the SCHSP.

Additionally, the second boundary adjustment is proposing Part 1 (2.26 ha) on Survey Sketch 15-16-105-06 to be severed and added to Part 4 (4.96ha) through this application and would be consolidated into one larger parcel to implement the SCHSP for residential and employment uses.

Lastly, the lot creation severance application is proposing Part 1 (4.73ha) on Survey Sketch 15-16-105-07 to be severed from the subject property and retained for future employment uses. According to the SCHSP, the retained lands are intended to remain as institutional and the severed lands as restricted employment. The balance of PIN. No. 46050-0275 results in a lot creation as the lands are not merging with the abutting parcels.

If granted, together these applications would reconfigure these parcels to align with the SCHSP policies to facilitate future residential, employment, and institutional uses.

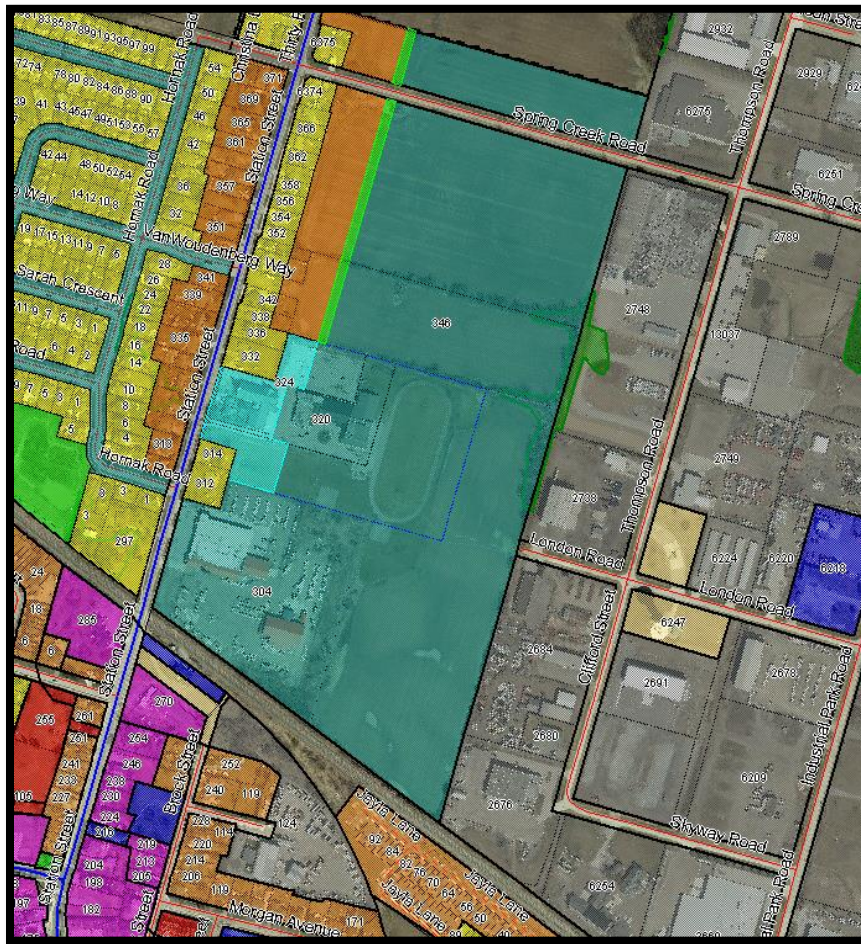
The SCHSP was first initiated by Official Plan Amendment (OPA) No. 6 in 2003 and was later amended in 2010 through OPA No. 26 to expand upon the list of permitted uses within the restricted employment designation. In 2020, consulting group (MHBC) MacNaughton Hermesen Britton Clarkson Planning Limited was retained by the Township to undertake a review of the existing SCHSP and prepared three different land use scenarios to evaluate current land use policies and whether changes should be made to help encourage and facilitate development of the lands. There was a virtual open house held on Thursday October 29th, 2020 and a virtual public meeting was held on November 9th, 2020.

Last spring (2024), a recommendation report PD-14-2024 for OPA No. 57 included updates to the policy and permitted uses, specifically the addition of warehousing in the restricted employment area within Smithville's Employment Area and was approved. Additionally, last September (2024), a recommendation report PD-40-2024 addressing Regional Staff revisions and additional Indigenous consultation was presented to Committee and was approved by Council with no changes to the SCHSP land use schedule (provided below in Figure 2).

Figure 2: Spring Creek Heights Secondary Plan (SCHSP)

The surrounding land uses are designated in the Township's Official Plan (OP) within the Northwest Smithville Secondary Plan to the west, specifically Residential Low Density and Medium Density Residential abutting Station Street to the west. The lands on the east side of Station Street are designated within the Township's SCHSP, specifically the existing development is Residential Low Density. The lands abutting to the east of the subject lands are designated within Smithville's Industrial Park Employment Area.

Additionally, abutting to the south as previously mentioned is the (ORWN) railway tracks and south of the crossing is designated as Medium Density Residential on Brock Street, Jayla Lane, and Morgan Avenue. There is also Institutional, Public Use, and Commercial Core land designations south and east of the subject lands. North of the subject lands and Spring Creek Road is also designated within the SCHSP, with the intended land uses shown in Figure 2 above. Refer to Figure 3 for the existing land use designations.

Figure 3: Surrounding Land Uses (OP Designations)

The Township's Zoning By-law 2017-71 as amended, further regulate the land uses through applicable zoning categories. The residential zones are either 'R1' (Residential Low Density) containing single detached dwellings or 'RM' (Residential Medium Density) containing multiple dwelling types like townhouse dwelling units or depending on the specific development a slight variation (for example, R2, R3 or RM2 with site specific provisions). The employment area to the east of the subject lands is zoned as 'M2' (Industrial Employment), the Institutional areas to the south and east are zoned as 'I', and the core commercial area located at the center of Smithville's urban area and south of the subject lands is zoned as 'C1'.

Furthermore, the subject lands (PIN No. 46050-0015 and PIN No. 46050-0016) are zoned for Development 'D' with the small portion abutting Station Street and existing low density residential development as 'R1B'. The subject lands (PIN. No. 46050-0275) has split zoning, with Development 'D' zoning abutting the other parcels subject of this application, the small portion abutting Station Street zoned as Low Density Residential 'R1B' and the balance intended for restrictive employment zoned as Industrial Employment 'M2'.

Additionally, this application is proposing a private storm water management easements (being Parts 6 and 7 on Survey Sketch 15-16-105-06) and (Parts 3 and 4 on Survey Sketch 15-16-105-07) to service the future developments in this area.

A memo prepared by Upper Canada Consultants which can be found in Attachment 5 speaks to the proposed private servicing plan with the intent to extend the storm sewer on Skyway Road to the southern limits of Al Schuttens Industrial Development to service the proposed industrial developments. A new storm sewer would have to be constructed on Van Woudenberg Way from Hornak Road to Station Street. However, at this time there is still components of the servicing that still need to be finalized specifically, whether the proposed residential subdivision outlet to the Station Meadows Storm Sewers could be feasible. Please refer to the servicing memo and plan for more information.

A condition has been included that a stormwater management plan be submitted and approved by the Township regarding the stormwater management of the subject lands to the satisfaction of the Township's Operations Development.

CURRENT SITUATION:

Planning Staff have completed an analysis of the proposed consent and can provide the following evaluation:

Provincial Planning Statement (2024)

The Provincial Planning Statement, 2024 (PPS 2024) replaces the Provincial Policy Statement, 2020 and repeals A Place to Grow: Growth Plan for the Greater Golden Horseshoe.

Land use planning decisions are required to be consistent with the PPS 2024 policies, and in the context of this proposal, the subject property is located within the built boundary of the settlement area of Smithville where intensification is supported and development that makes efficient use of the infrastructure and services that are available.

With reference to the PPS employment policies, the proposal is meeting the intent to promote economic development and encouraging the intensification of employment uses that are compatible with the existing land uses in support of the Township achieving complete communities.

This land swap consent is proposing to change the parcel fabric of the subject lands to better facilitate and realign this area with the Township's intended SCHSP. Realigning the parcel fabric will allow future employment uses to abut the existing employment uses within Smithville's Industrial Park area. Both the future employment and residential growth proposed will help Smithville achieve an appropriate mix of land uses aligned with the SCHSP and support the components

of complete communities.

For these reasons, this proposal is consistent with the PPS.

Township of West Lincoln Official Plan and Niagara Region Official Plan

Bill 23 has changed Niagara Region's role in land use planning and as of March 31, 2025, the Niagara Official Plan is no longer a Regional Plan and is an official plan of the twelve area municipalities in Niagara.

As such, in the context of the Regional Plan, the subject lands are delineated as Built-up Area, where the focus of growth is to occur and growth targets to achieve a minimum of 50 residents and jobs per hectare across the region. This proposal will help facilitate future development applications in this area, resulting in an increase of density of varying land uses (intensification) with the implementation of the Township's SCHSP.

The Township's Official Plan (OP) designates the subject lands in the urban boundary within the Settlement Area of Smithville. Section 6.1.2 of the OP states objectives which are protecting and enhancing the character and image of the urban settlement area, to promote higher density residential development, and mixed use development/redevelopment in appropriate locations in Smithville, and to encourage and facilitate the production of a range of dwelling types. Specifically, Policy 6.1.2d) encourages high quality design which is environmentally sustainable and is compatible with the existing character and adjacent buildings.

In addition, Section 3 of the OP (Policy 3.4b) promotes new infill development opportunities that are located within the urban boundary and promotes additional industrial development to improve the tax base of the community and provide an increase of employment opportunities (Policy 3.4d) for current and future residents. Section 5 *Growth Management* of the OP speaks to growth management within the Township, specifically focusing on employment growth and increasing residential density, and directing intensification to appropriate areas within the urban boundary of Smithville. This proposal is consistent with Policy 5.2(i) encouraging and facilitating redevelopment, infilling and intensification targets within the Urban Settlement area of Smithville.

Additionally, Policies regarding consents are found in Section 18.13 *Land Severances* of the Township's OP. Policies found in Section 18.13.4 specifically addresses policies for consents in Smithville. The proposed infill lot creation and boundary adjustments are aligned with Policy 18.13.4b(iii) of the OP as infilling existing built-up areas are permitted and encouraged to meet and address growth patterns in Smithville and projected targets.

The resulting parcels of this proposal will all have frontage on existing public streets

being Station Street, Spring Creek Road, and London Road, in accordance with Policy 18.13.1b) any lot or remnant parcel created must have adequate frontage on a public road that is maintained year-round and is of an adequate standard of construction to provide access for the intended uses.

Furthermore, as with any new development, a grading plan will have to be submitted during the future rezoning application to address and ensure adequate lot grading and proper drainage are to the Township's standards, in alignment with Policy 18.13.1(i) of the OP.

Lastly, Policy 18.13.1j) notes that any consent is required to conform to the provisions of the Zoning By-Law. Given the future rezoning application is included as a condition of consent, this proposal will meet the intent of the Township's SCHSP with the applicable zoning to facilitate future residential, employment, and institutional growth. Additionally, the proposal satisfies the main objectives by providing a sustainable design to appropriately separate existing industrial uses of the Smithville Industrial Park from adjacent future residential as shown above in Figure 2.

This proposal is aligned with the OP policies specifically, the Spring Creek Heights Secondary Plan which will facilitate future residential, employment, and institutional uses and help the Township achieve growth and density targets.

Township of West Lincoln Zoning By-law

The subject lands are currently zoned for Development 'D' in the Township's Zoning By-law 2017-70, as amended. A portion of PIN. No. 46050-0275 is zoned for Industrial Employment 'M2' and the front portion abutting Station Street is zoned as Residential Low Density 'R1B'. The front portion of PIN No. 46050-0016 is also zoned Residential Low Density 'R1B'. In addition, the existing woodlands spanning over the three parcels has Environmental Conservation 'EC' zoning in place.

As a condition of approval, a zoning by-law amendment will be required to alter the zoning to align with the land use schedule for the SCHSP (Figure 2) and a site plan application at a later stage, to assess the specific development details against the intended SCHSP.

Staff note there will be minor zoning deficiencies resulting from this proposal including deficient lot frontages for the retained parcels abutting on Station Street and London Road, which will be addressed during the future rezoning application as well as, any other zoning discrepancies that are determined during the future review of the zoning by-law amendment submission.

INTER-DEPARTMENTAL & AGENCY COMMENTS:

Building Department: Have reviewed the application and offers no objections to the proposals.

Operations Department (formerly Public Works and Engineering): Has reviewed the application and the additional stormwater management information received on June 5th, 2025 and provided the following comments. It is understood that Parts 3 and 4 on Survey Sketch 15-16-105-07 will be a private stormwater easement, as well as, Parts 6 and 7 on Survey Sketch 15-16-105-06. Given the uncertainty for the stormwater connection for the future residential parcel (Part 4 on Survey Sketch 15-16-105-06), the following condition has been included to satisfy this concern. Please see Attachment 6 for the comments received and the pre-consultation meeting notes provided in the spring of this year to the Applicants regarding this proposal.

1. That a stormwater management plan be submitted and approved by the Township regarding the stormwater management of the subject lands to the satisfaction of the Township's Operations Development.

Septic System Inspection Manager: Has reviewed the application as submitted and offers no objections.

Niagara Peninsula Conservation Authority (NPCA): Have reviewed the application and based on the NPCA's current mapping, offer no concerns or objections as the property does not contain any NPCA regulated features.

Niagara Region: Have reviewed the application and offers no comments as they have no interest in this matter.

PUBLIC COMMENTS:

At the time of writing this report, there has been two public comments received from nearby neighbours (which can be found in Attachment 7).

In summary, the concerns were:

- Increase of residential and commercial traffic on Station Street (Regional Road 14) and whether a detail infrastructure plan will be available for the future development to ensure residents are informed and development takes place at a reasonable pace.
- Specific questions raised were like how many homes, what style of homes, and a concern regarding the existing landscape and character of the area.
- Request that an eight (8) foot sound fence be installed between any new proposed road and along the back of existing properties.
- Additional traffic concerns asking whether Station Street will be the only egress and ingress for the future developments, whether a sidewalk will be proposed and whether there are setbacks required to put a road next to an existing property.
- Residents to be kept informed on all new development for this area and to understand the specific details that will be available at a later stage of development through the included conditions of consent.

Planning Staff note that these concerns will be appropriately addressed through the required future zoning by-law amendment application. Supporting technical studies like for instance traffic impact study, land use compatibility study (D6 MOECP guidelines), constraint analysis (scoped Environmental Impact Study), storm water management brief, and functional servicing brief will be completed and will provide more information to help alleviate the public concerns. Also, additional opportunities to offer comments and feedback will be provided at future public meetings.

Following the rezoning, site plan applications will also be required for future employment and multiple residential development where a site plan, fire route plan, landscape plan, final site servicing plan and grading plan, sediment and erosion control plan, and a lighting plan will all be required for approval.

The proposed boundary adjustments and lot creation help realign the parcels to facilitate the Township's SCHSP objectives for future employment and residential growth.

CONCLUSION:

Based on the above analysis, Planning Staff recommend APPROVAL of the proposed consent application B02/2025WL as outlined in report COA-10-2025, where Part 3 (2.37ha) on Survey Sketch 15-16-105-06 will be severed and added to Part 2 (1.17ha) a larger parcel for future restricted employment uses, subject to the below conditions.

Based on the above analysis, Planning Staff recommend APPROVAL of the proposed consent application B03/2025WL as outlined in report COA-10-2025, where Part 1 (2.26 ha) on Survey Sketch 15-16-105-06 to be severed and added to Part 4 (4.96ha) for future residential and employment uses, subject to the below conditions.

Based on the above analysis, Planning Staff recommend APPROVAL of the proposed consent application B04/2025WL as outlined in report COA-10-2025, to permit the proposed lot creation where Part 1 (4.73ha) on Survey Sketch 15-16-105-07 will be severed from the subject property and retained for future employment uses, subject to the below conditions.

1. That the approval applies to the transaction as applied for.
2. That all municipal requirements be met to the satisfaction of the municipality including servicing connections if required, cash-in-lieu of park land dedication of 2% of the appraised value, property maintenance, compliance with Zoning By-law provisions for structures, and any related requirements, financial or otherwise.
3. That the applicant provides to the Township an appraisal of the subject property completed by a certified appraiser and pays the required parkland dedication fee.

4. That the applicant provides to the Township an appraisal of the subject property completed by a certified appraiser and pays the required parkland dedication fee being 2% of the Appraised Value for Part 2 on Survey Sketch 15-16-105-07.
5. That an undertaking be provided and certified by a solicitor that the ownership for Part 1 on Survey Sketch (15-16-105-06) will have a PIN consolidation with Part 4 on Survey Sketch (15-16-105-06) following consent approval to the satisfaction of the Township of West Lincoln.
6. That the ownership for Part 2 on Survey Sketch (15-16-105-06) will have a PIN consolidation with Part 3 on Survey Sketch (15-16-105-06) following consent approval to the satisfaction of the Township of West Lincoln.
7. That Parts 6 and 7 on Survey Sketch (15-16-105-06), being the proposed easements apply for private servicing on Parts 1 and 2 on Survey Sketch (15-16-105-06) following consent approval to the satisfaction of the Township of West Lincoln.
8. That the ownership for Part 1 on Survey Sketch (15-16-105-07) will have a PIN consolidation with Part 5 on Survey Sketch (15-16-105-07) following consent approval to the satisfaction of the Township of West Lincoln.
9. That Parts 3 and 4 on Survey Sketch (15-16-105-07), being the proposed easements apply for private servicing on Parts 1 and 5 on Survey Sketch (15-16-105-07), following consent approval to the satisfaction of the Township of West Lincoln.
10. That the applicant applies for a zoning by-law amendment to realign with the intent of the Township's Spring Creek Heights Secondary Plan for this area.
11. That the applicant applies for and enters into a site plan agreement with the Township.
12. That a stormwater management plan be submitted and approved by the Township regarding the stormwater management of the subject lands to the satisfaction of the Township's Operations Development.
13. That the applicant provides the Secretary-Treasurer with a copy of the transfer documents for the conveyance of the subject parcels, a legal description of the subject parcels to be registered, together with a copy of the deposited reference plans, if applicable, for use in the issuance of the Certificate of Consent.
14. That a final certification fee (per application), payable to the Township of West Lincoln, be submitted to the Secretary-Treasurer.
15. That all of these conditions shall be fulfilled within a period of two years after the giving of the Notice of Decision of the Committee of Adjustment, pursuant to Subsection 53(41) of the Planning Act, failing which this consent shall be deemed to be refused.

ATTACHMENTS:

1. Location Map (PIN. No. 46050-001, PIN. No. 46050-0016, and PIN. No. 46050-0275)
2. Survey Sketch 15-16-105-06
3. Survey Sketch 15-16-105-07
4. Planning Brief (Upper Canada Consultants)
5. Private Stormwater Management Memo and Proposed Servicing Plan (Upper Canada Consultants)
6. Agency Comments
7. Public Comments

Prepared & Submitted by:

**Stephanie Pouliot
Planner**

Approved by:

**Susan Smyth, CPT
Manager, Community Planning and Design**

Subject Lands
PIN. No. 46050-0015
PIN. No. 46050-0016
PIN. No. 46050-0275



☐ ZoneBoundary
☒ Subject Property

STATION STREET
REGIONAL ROAD No. 14
(REGIONAL ROAD - VARIABLE WIDTH)

REGISTERED
PLAN 30M-12

PART 5
AREA=61.4 sq.m
ROAD WIDENING

PART 1,
PLAN 30R-6530

PART 2,
PLAN 30R-6530

REGISTERED
L

PART 2,
PLAN 30R-5084

LOT 4	LOT 3	35.00
LOT 5	LOT 6	
LOT 7	LOT 8	RESDENTIAL
LOT 9	LOT 10	
LOT 11	LOT 12	P
LOT 13		

LOT 17	
LOT 1	
	67.07
	64.02
20,12	64.02
	67.07

LOT

LOT
REGISTER

REG
PART
LAN 30R-

PART 4
AREA=4.96 ha

PART 3
AREA=2.37 ha

PART 2
AREA=1.17 ha

PART 1
AREA=2.26 ha

PART 6
AREA=1010 sq.m

PART 7
AREA=88.1 sq.m

LOT 15 (REMAINDER)

LOT 16

LOT 24

"COMMERCIAL"

"VACANT LAND"

"JOHN CALVIN SCHOOL"

"PARKING LOT"

"SOCCER FIELD"

"AGRICULTURAL"

PROPOSED 6.0 WIDE EASEMENT

PART 1, PLAN 30R-14530

PART 1, PLAN 30R-4100

PART 1, PLAN 30R-11901

PART 1, PLAN 30R-1634

246.45

362.99

116.54

203.10

203.21

303.98

244.10

220.35

116.45

101.01

100.77

134.57

164.19

78.08

14.32

202.04

123.96

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(B) THIS SKETCH IS PROTECTED BY COPYRIGHT.

Page 18 of 103

346 STATION STREET
TOWNSHIP OF WEST LINCOLN
REGIONAL MUNICIPALITY OF NIAGARA
SCALE 1 : 2000

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE
CONVERTED TO FEET BY DIVIDING BY 0.3048

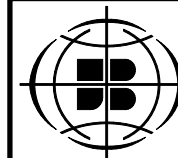
A map showing the location of the subject lands. The map includes Station Street Regional Road No. 141, Spring Creek Road, and Thompson Road. A shaded rectangular area is labeled 'SUBJECT LANDS' with a leader line pointing to it.

PART OF LOTS 15 & 16, REGISTERED PLAN M-94 AS CONFIRMED BY
30BA1691.

BOUNDARY INFORMATION HAS BEEN COMPILED FROM AVAILABLE
RECORDS AND HAS NOT BEEN VERIFIED BY ACTUAL FIELD
MEASUREMENTS. THIS IS NOT A PLAN OF SURVEY

MAY 23, 2025
DATE

DASHA PAGE
ONTARIO LAND SURVEYOR



J.D.BARNES
LIMITED

LAND INFORMATION SPECIALISTS
4318 PORTAGE ROAD - UNIT 2, NIAGARA FALLS, ON L2E 6A4
T: (905) 358-3693 F: (905) 358-6224 www.jdbarnes.com

SURVEYING
MAPPING
GIS

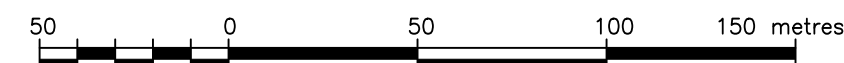
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5-16-105-06	

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NOTE: THIS SKETCH IS NOT A PLAN OF SURVEY

SKETCH FOR PLANNING PURPOSES ONLY

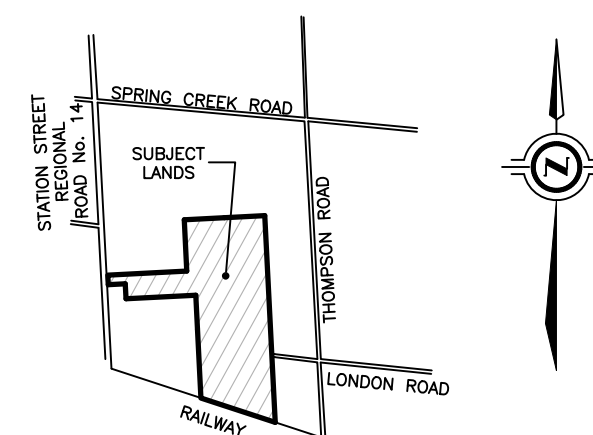
316 STATION STREET
TOWNSHIP OF WEST LINCOLN
 REGIONAL MUNICIPALITY OF NIAGARA
 SCALE 1 : 2000



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METRIC NOTE

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE
 CONVERTED TO FEET BY DIVIDING BY 0.3048

KEY PLAN (not to scale)

TOWNSHIP OF WEST LINCOLN

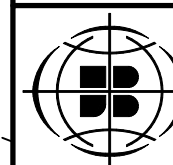
LEGAL DESCRIPTION

PART OF LOT 24, REGISTERED PLAN M-94 AS CONFIRMED BY
 30BA1691.

BOUNDARY INFORMATION HAS BEEN COMPILED FROM AVAILABLE
 RECORDS AND HAS NOT BEEN VERIFIED BY ACTUAL FIELD
 MEASUREMENTS. THIS IS NOT A PLAN OF SURVEY

MAY 23, 2025
 DATE

DASHA PAGE
 ONTARIO LAND SURVEYOR

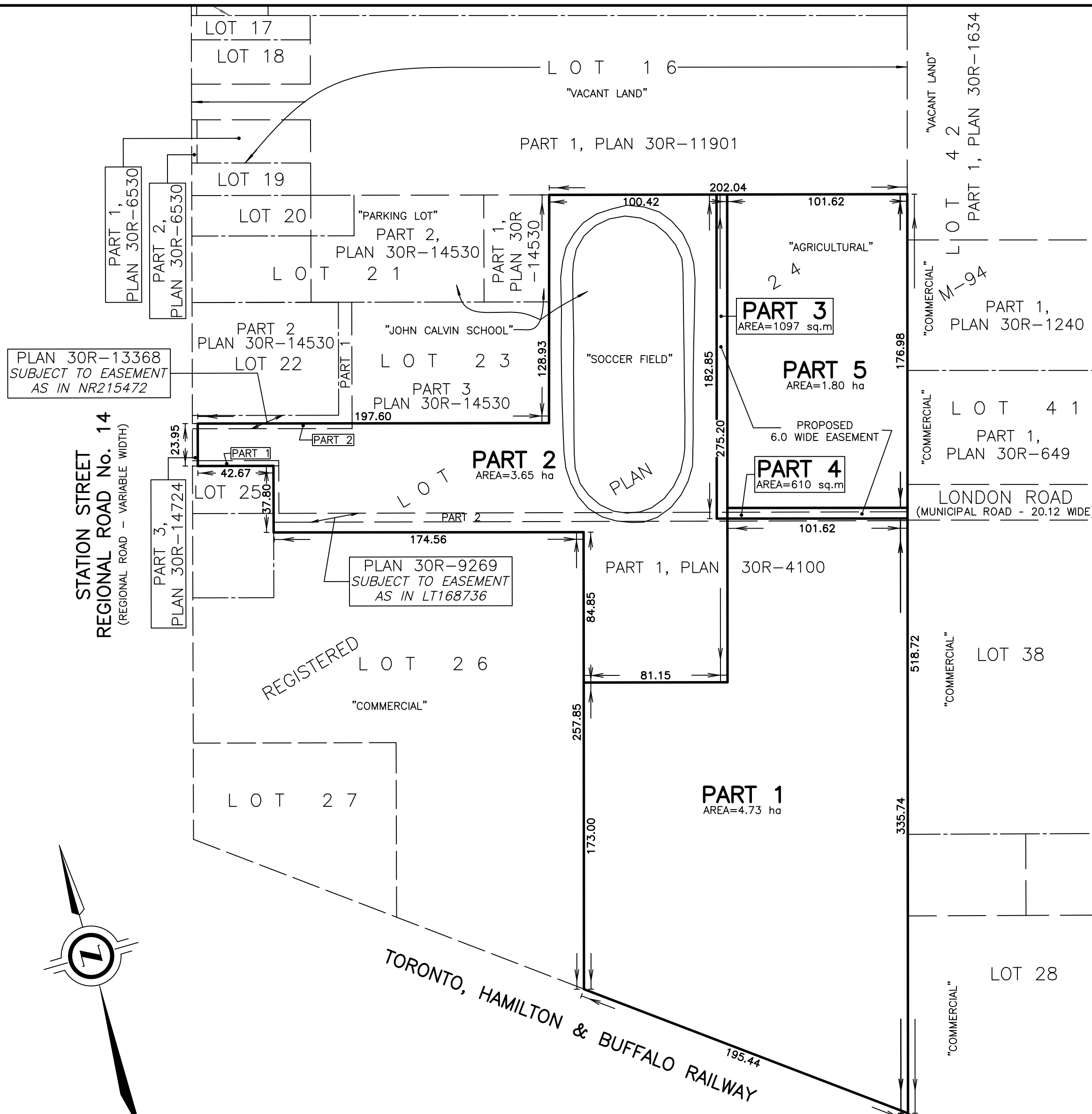


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SURVEYING
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TW	DRAWN
DP	CHECKED
DATED: MAY 23/2025	
Ref. No. 15-16-105-07	

PLOT DATE: 5/23/2025 1:23 PM

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**Upper Canada Planning
& Engineering Ltd.**

3-30 Hannover Drive
St. Catharines, ON L2W 1A3

T: 905-688-9400
F: 905-688-5274

UCC File No. 23171

May 23, 2025

Town of West Lincoln
318 Canborough Street
Box 400
Smithville, ON L0R 2A0

Attn: Stephanie Pouliot – Secretary Treasurer – Committee of Adjustment (Sent via email to spouliot@westlincoln.ca)

**RE: Smithville Land Swap
Cover Letter & Planning Brief – Consent and Boundary Adjustment Applications**

Upper Canada Consultants is pleased to submit the enclosed consent and boundary adjustment applications for lands known municipally as 346 Station Street and Spring Creek Road, Township of West Lincoln.

Included in the submission are the following items:

- One (1) Consent application signed by the Owner;
- Two (2) Boundary Adjustment applications signed by the Owner;
- Cheque in the amount of **\$1,632.00** payable to the Township of West Lincoln;
- Cheque in the amount of **\$1,632.00** payable to the Township of West Lincoln;
- Cheque in the amount of **\$3,264.00** payable to the Township of West Lincoln;
- Severance Sketch prepared by J.D. Barnes Limited.;
- PIN Maps from the Land Registry Office;
- Parcel Registers from the Land Registry Office

Please find our Planning Brief in the subsequent pages that outlines the proposal and provides a planning opinion for the proposed development.

If any further information is pertaining to this submission is required, please do not hesitate to contact the undersigned.

Sincerely,

Callum Gomez
Development Coordinator
Upper Canada Consultants

cc: William Heikoop, Upper Canada Consultants



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PLANNING BRIEF

Introduction

The purpose and effect of two of the consent applications are to facilitate a 'land swap' or boundary adjustment between two properties in order to reconfigure the existing property lines to better facilitate future residential development and a future employment development of the lands. The third consent application is to create a new lot for future employment development use from an existing property that contains outdoor sport and playing fields that support an adjacent school property; only that portion of the lands not used by the school are proposed to be severed and that portion of the lands that contain the school facilities will remain.

The purpose of this Planning Brief is to provide a detailed description of the proposal and to demonstrate how the applications conform to good planning principles.

Description and Location of the Subject Lands

The subject lands include the lands municipally known as 346 Station Street, as well as the parcels identified as PIN No. 406050-0015 and PIN No. 46050-0275. The lands identified as PIN No. 406050-0015 and 346 Station street are currently vacant and have been actively farmed with field crops. The property identified as PIN No. 46050-0275 is owned by CANADIAN REFORMED SCHOOL SOCIETY OF SMITHVILLE AND SURROUNDING DISTRICT INCORPORATED and operated by John Calvin School. The lands contain recreational uses associated with the school including a track, soccer fields, a baseball field and a playground. That portion of the lands to be severed do not contain the school playing fields and has also been actively farmed in field crops. **Figure 1** below displays an aerial view of the subject lands.



Figure 1 – Aerial Photo of Subject Lands

The surrounding lands contain the following land uses:

North:	Vacant land containing a wetland with significance
West:	Employment/Industrial lands
South:	Employment/Industrial lands and a Railway Right of Way
East:	Residential detached dwellings, school and church



Proposal

Figure 2 below provides a concept plan that outlines the proposed land swap between two adjacent properties and the lot to be created. The proposal includes two (2) lot boundary adjustments for the area outlined as Area 'A' to swap with Area 'C'. Area 'A' will then be consolidated with Area 'B' into one new parcel and Area 'C' will be consolidated with Area 'D' into another parcel. A severance application is also included in order to sever the lands outlined as Area 'E' from the lands used by John Calvin School.

The effect of this proposal will result in Area 'A' and Area 'B' to be consolidated into one larger parcel which contains residential and employment land use designations as provided in the Spring Creek Secondary Plan. Area 'C' and Area 'D' will be consolidated for the purposes of future employment uses also as provided in the Secondary Plan. Area 'E' will be severed from the John Calvin School lands also for the purposes of future employment uses in accordance with the Secondary Plan land use designations.

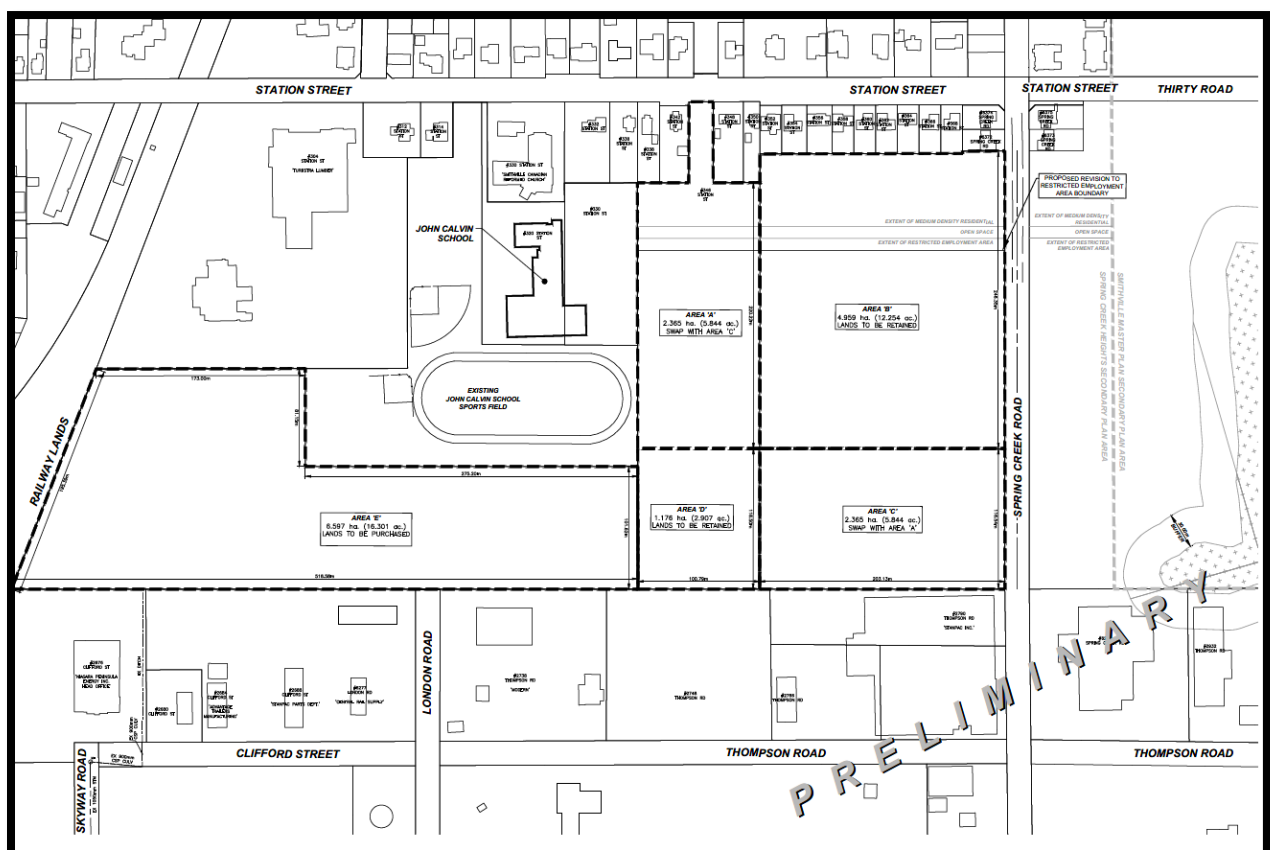


Figure 2 – Land Swap/Severance Concept Plan by Upper Canada Consultants



3-30 Hannover Drive
St. Catharines, ON L2W 1A3
T: 905-688-9400
F: 905-688-5274

SPRING CREEK ROAD
(ROAD ALLOWANCE BETWEEN CONCESSIONS 8 & 9, TOWNSHIP OF SOUTH GRIMSBY)
(MUNICIPAL ROAD - 20.12 WIDE)

STATION STREET
REGIONAL ROAD No. 14
(REGIONAL ROAD - VARIABLE WIDTH)

REGISTERED PLAN 30M-121

REGISTERED PLAN 30R-14530

REGISTERED PLAN 30R-5084

REGISTERED PLAN 30R-6530

REGISTERED PLAN 30R-11901

LOT 4
246.45

LOT 5
116.54

LOT 6
203.10

LOT 7
203.21

LOT 8
303.98

LOT 9
167.85

LOT 10
23.75

LOT 11
39.71

LOT 12
67.07

LOT 13
64.02

LOT 17
20.12

LOT 18
20.12

LOT 19
42.62

LOT 20
134.57

LOT 21
164.19

LOT 24
123.96

PART 4
AREA=4.96 ha

PART 3
AREA=2.37 ha

PART 2
AREA=1.17 ha

PART 1
AREA=2.26 ha

PART 5
AREA=61.4 sq.m
ROAD WIDENING

PART 6
AREA=1010 sq.m
"SOCCER FIELD"

PART 7
AREA=88.1 sq.m

LOT 15 (REMAINDER)

LOT 16

LOT 21

LOT 24

LOT 25

LOT 26

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LOT 225

FIGURE 3 – Excerpt from Survey Sketch – Prepared By J.D. Barnes Limited

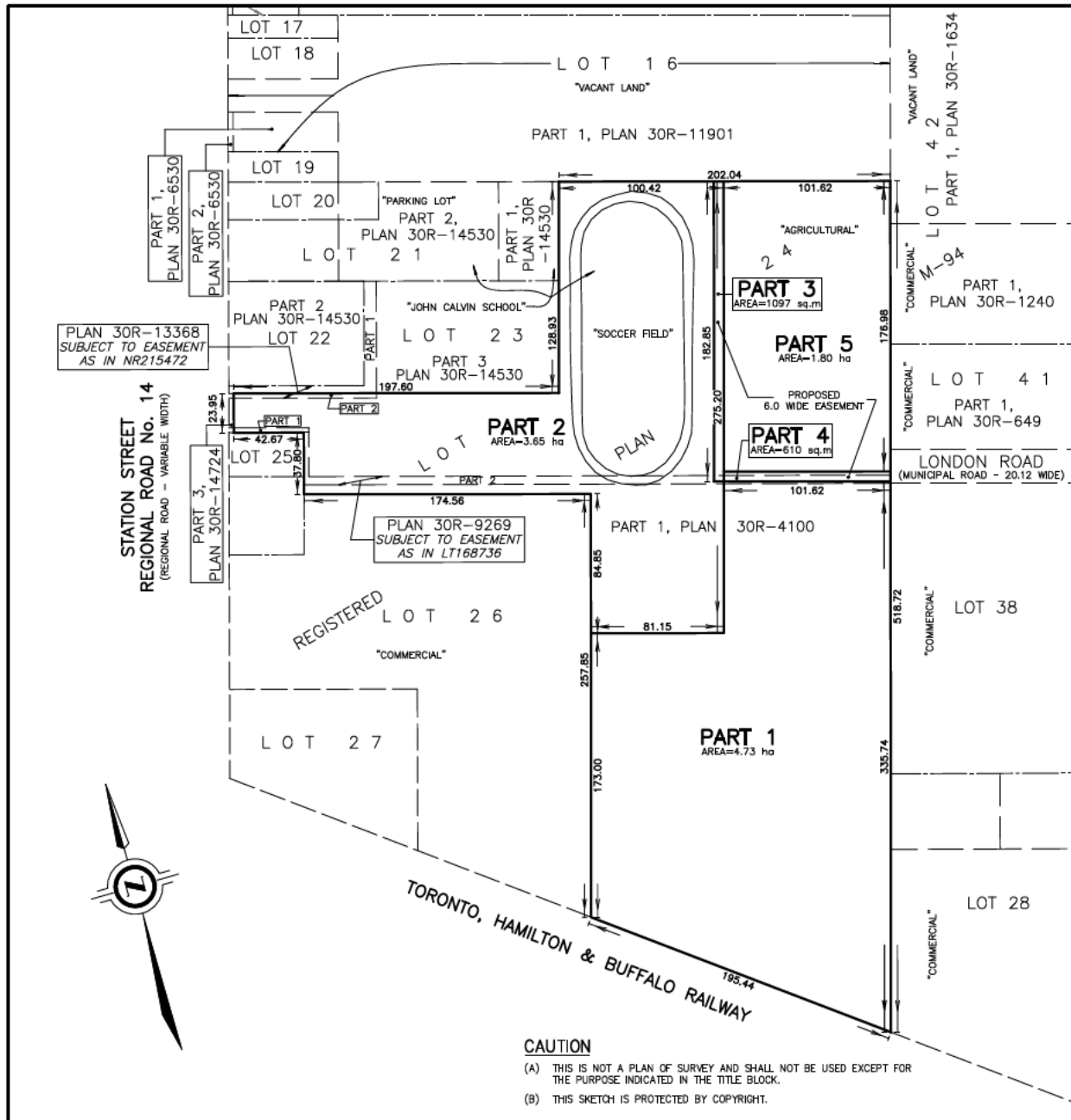


FIGURE 4 – Excerpt from Survey Sketch – Prepared By J.D. Barnes Limited

Planning Opinion

Policy Review

Ontario Planning Act, R.S.O. 1990, c. P.13

The Ontario *Planning Act* outlines the regulations for land use planning in Ontario. Section 2 of the *Planning Act* outlines matters of Provincial Interest which planning authorities must have regard for when considering planning applications. The proposed development has regard for items (f), (h), (j), (k), and (p) of section 2 of the *Planning Act*.

Section 2 subsection (f) of the *Planning Act* requires regard to be had for the adequate provision and efficient use of communication, transportation, sewage and water services and waste management systems. The proposed development has access to municipal services and the future development of these lands will provide for efficient use of existing infrastructure. Future site plan approvals will require the design and implementation of water and wastewater services for the individual future uses on the subject lands. These services will be efficiently designed to the satisfaction of the Town.

Subsection (h) states that planning authorities have regard for the orderly development of safe and healthy communities. The proposal provides for the realignment of properties that will better facilitate the development of residential and employment uses. Regard will be had for compatibility between the uses. The residential component will align with the Residential land use designation of the Secondary Plan and have close access to John Calvin School for educational opportunities and the development of employment lands also align with the Employment area designation and will provide employment opportunities to residents in the area and across the region. The mix of uses will contribute to the development of safe and healthy communities.

Subsection (j) requires regard to be had for the adequate provision of a full range of housing, including affordable housing. The future residential development will increase the amount of housing units within the urban area of the Township of West Lincoln. The increase in the supply of housing units will assist in meeting the demand for housing units within the province and contribute to the provision of a full range of housing.

Subsection (k) directs planning authorities to have regard for the adequate provision of employment opportunities. The proposed boundary adjustments and severance application will facilitate the development of the lands designated for Employment for future employment uses. This will add to the existing employment uses in the surrounding area and therefore has regard for subsection (k).

Subsection (p) requires regard to be had for the appropriate location of growth and development. The proposal will facilitate future employment and residential uses which will align with the designations outlined in the Township of West Lincoln Spring Creek Heights Secondary Plan, areas that have been planned for future residential and employment growth and development. The subject lands are located within the urban boundary with access to municipal services and no constraints with regards to natural heritage considerations and as a result are an appropriate location for growth and development.

The proposed development aligns with Provincial Interests as outlined in Section 2 of the *Planning Act*.

Provincial Planning Statement (2024)

The Provincial Planning Statement (“PPS”) provides policy direction on matters of provincial interest related to land use planning and development. The PPS sets the policy foundation for regulating the development and use of land province-wide, helping achieve the provincial goal of meeting the needs of a fast-growing province while enhancing the quality of life for all Ontarians.

Section 2.2 of the PPS outlines policies related to housing in Ontario. The policies of this section direct planning authorities to permit all types of residential intensification, and facilitate redevelopment, new housing options within previously developed areas, and promote densities for new housing which efficiently use land, infrastructure, and public service facilities.

Section 2.3 of the PPS further directs development to settlement areas. The section states that settlement areas shall be the focus of growth and development. Land use patterns within settlement areas should be based on densities and a mix of land uses that efficiently use land and resources and optimize existing and planned infrastructure and public service facilities. This section builds on section 2.2 and states that planning authorities shall support general intensification and redevelopment to support the achievement of complete communities. This section also directs planning authorities to establish minimum targets for intensification and redevelopment within built up areas.

The consent application for the boundary adjustments will consolidate the residential lands that will help facilitate future residential development applications for a residential subdivision on the portion of the subject lands designated as medium density residential. The future residential development will facilitate the intensification of underutilized lands within the Smithville settlement area of the Township of West Lincoln. The proposed consent applications for the boundary adjustments aligns with Section 2.2 and 2.3 of the PPS as the approval of the consents will consolidate the lands designated for residential use which will lead to future residential development applications.

Section 2.8 of the PPS outlines Provincial planning policies related to employment. Section 2.8.1 directs planning authorities to promote economic development and competitiveness by providing opportunities for a diversified economic base, including maintaining a range and choice of suitable sites for employment uses which support a wide range of economic activities and ancillary uses, and take into account the needs of existing and future businesses; and by encouraging intensification of employment uses and compatible, compact, mixed-use development to support the achievement of complete communities. Policy 2.8.2 provides for the protection of employment areas for future uses.

The proposed applications will adjust the lot fabric for employment lands that will better facilitate the future development of employment lands which are designated and suitable for employment uses. This will lead to the development of additional employment uses on underutilized land in close proximity to existing employment uses. Also, the creation of a new lot intended for employment uses will also facilitate the future development of these lands for their intended use. This intensification of employment uses, along with the future residential development will provide an appropriate mix of uses and contribute to the achievement of complete communities. The proposed consent applications aligns with the PPS by



continuing to protect employment areas for employment uses and facilitating future development applications for employment uses.

Niagara Official Plan (2022)

The Niagara Official Plan (“NOP”) builds on the Provincial Planning Statement and is Niagara’s long-term, strategic policy planning framework for managing growth within the Niagara Region. The Niagara Official Plan has been assumed by the Township until such time as the Township updates their Official Plan and replaces the Niagara Official Plan. The subject lands are designated as ‘Delineated Built-Up Area’ and ‘Designated Greenfield Area’ in Schedule ‘B’ of the Niagara Official Plan as outlined in **Figure 5** below.



Figure 5 – Excerpt from the Niagara Official Plan (2022) Schedule ‘B’ – Regional Structure

Delineated Built-Up Areas and Designated Greenfield Areas are both ‘Urban Area’ Designations. Section 2.2 of the Niagara Official Plan states that most development will occur in urban areas where municipal



water and wastewater systems/services exist or are planned and a range of transportation options can be provided.

Section 2.2.1 of the Niagara Official Plan outlines policies related to managing growth in the urban areas. This section states that development within urban areas will integrate land use planning and infrastructure planning to responsibly manage forecasted growth. This is to be achieved by facilitating a compact built form, mix of land uses, diverse ranges of housing types, unit sizes and densities, and opportunities for intensification, including infill development.

Section 2.2.2 of the NOP explains that within urban areas, forecasted population growth will be accommodated primarily through intensification within built-up areas. This section also outlines intensification targets throughout the Region. The Plan outlines a regional minimum of 60 percent of all residential units occurring annually to be within the built-up areas. The NOP further specifies a minimum of 13 percent residential units to be within the built-up area of the Town of West Lincoln and encourages municipalities to exceed these targets.

Section 2.2.2 of the NOP also outlines policies relating to the growth of designated greenfield areas. These areas are to achieve a minimum density of 50 residents and jobs per hectare as measured across the Niagara Region. Section 2.2.2.24 also encourages local official plans to meet and exceed these minimum targets.

The proposed consent applications will facilitate future development applications on each of the parcels of land that will increase density underutilized lands and will ultimately result in an efficient use of land. There is existing municipal infrastructure available to the lands that future development will propose to use. The development will assist in meeting the intensification targets of residential development within the built-up area, as well as the minimum density targets for greenfield areas of 50 residents and jobs per hectare.

Section 4.2 of the NOP provides guidelines for planning for employment uses. The Region is required to plan for and protect lands to accommodate the Province's forecasted employment growth coming to Niagara. The policies outlined in this plan encourage employment development in urban areas and state that the provision of lands for employment is an important component of complete communities.

The proposed development will assist in accommodating for the Province's forecasted employment growth in the Niagara Region. The subject lands are an appropriate location for the proposed development as it is within the urban area of the Town of West Lincoln. The proposal aligns with the provisions of the Niagara Official Plan.

Town of West Lincoln Official Plan

The purpose of the Township of West Lincoln Official Plan is to provide detailed development and land use policies, and to direct and guide development where it will best contribute to the long-term social, economic and environmental stability of the Township of West Lincoln.



Section 3 of the OP provides the basis of the plan and subsection 3.4 provides a general guide for residential and employment land uses. Section 3.4 (b) promotes new development and infill development to be located within the urban boundary area of the Smithville settlement area. Section 3.4 (d) of the plan promotes additional industrial development on lands designated for such purposes to improve the tax base of the community and to provide increased employment opportunities.

Section 5 of the OP outlines guidelines, objectives, and policies related to growth management within the Township of West Lincoln. The objectives outlined in section 5.2 of the plan include focusing employment growth to designated areas within Smithville and directing a majority of population growth to the Smithville urban area.

The proposed consent and boundary adjustments will facilitate residential and employment growth within their respective designations within the urban boundary area of Smithville. As such, the proposal aligns with Section 3 and Section 5 of the Official Plan.

Section 18.13.1 of the Official Plan outlines the general policies for consents which are as follows:

- a) Development will be in accordance with the designated uses as shown on the Official Plan Land Use Maps and the provisions of the Zoning By-law.

The proposed development will align with the designated uses as shown on the Official Plan Land Use Maps. Future Planning Act applications are necessary to amend the Development (D) zone to permit the employment uses.

- b) Any lot or remnant parcel created must have adequate frontage on a public road that is maintained year-round and is of an adequate standard of construction to provide access for the intended use.

The proposed reconfigured lots and new lot will have adequate frontage on a public road maintained year-round and is an adequate standard of construction for the intended uses.

- c) No land severance shall create a traffic hazard, or have limited sight lines on curves or grades.

The proposed applications will not create a traffic hazard, or have limited sight lines on curves or grades.

- d) Access to a Provincial Highway, a Regional road or a local road shall be in accordance with the access provisions of the appropriate road authority.

Access to the roads are in accordance with the provisions of the appropriate road authorities.

- e) Consents will not be granted when any parcel involved requires access to be obtained where a traffic hazard would be created because of limited sight lines on curbs or grades or in proximity to intersections. The geometric and safety requirements of the applicable road authority shall apply.



No parcels require access to be obtained where a traffic hazard would be created.

- f) Consent will be granted only when it has been established that for all parcels involved, soil and drainage conditions are suitable to permit the proper siting of a building, to obtain a sufficient and potable water supply where applicable and permit the installation of an adequate means of sewage disposal. Consents requiring installation of septic tank systems, or other private sewage disposal systems will meet appropriate standards of the Ontario Building Code.

Soil and drainage conditions are suitable to permit the proper siting of a building. There is no requirement for a septic system or other private sewage systems as a result of the development as the lands are in the urban service area.

- g) Consent will be granted only when confirmation of sufficient reserve sewage system capacity and reserve water system capacity within municipal sewage services and municipal water services. *There are existing municipal services within the vicinity that the development proposes to use.*
- h) No land severance shall be permitted in any hazardous area that is subject to flooding, erosion or steep slopes except for a severance, which meets the satisfaction of the Ministry of Natural Resources or the Niagara Peninsula Conservation Authority. This may include a requirement for an adequate setback from stable top of slope.

There are no hazardous areas mentioned above on the subject lands.

- i) No land severance shall be permitted unless adequate lot grading and drainage can be addressed. Further, no land severance shall be permitted unless drainage can be properly outlet from the area, without impacting neighbouring properties, to the satisfaction of the Township.

Site servicing and grading plans will be required through the future Planning Act Applications necessary to facilitate the proposed development.

- j) Any consent will be required to conform with the policies of this plan and the provisions of the Zoning By-law.

The proposal conforms with the policies of the Official Plan. A future Zoning By-law Amendment application will be required to permit the employment and residential uses on the lands zoned Development (D) in accordance with the Official Plan Designations. This future zoning by-law amendment can be considered concurrently when future development applications are being considered, i.e. draft plan of subdivision.

The proposed applications align with the Town of West Lincoln's Official Plan Policies for consents.



The subject lands are also within the Spring Creek Heights Secondary Plan Area. The purpose of this Secondary Plan is to coordinate development within the Secondary Plan Area, and to provide a sustainable design to appropriately segregate existing industrial uses of the Smithville Industrial Park from adjacent future residential uses through sustainable land use policies and to provide a measure of certainty and protection for existing industrial uses within the Smithville Industrial Park. **Figure 6** below displayed below outlines the Land Use Designations from the Spring Creek Heights Secondary Plan Schedule 'E-3.'

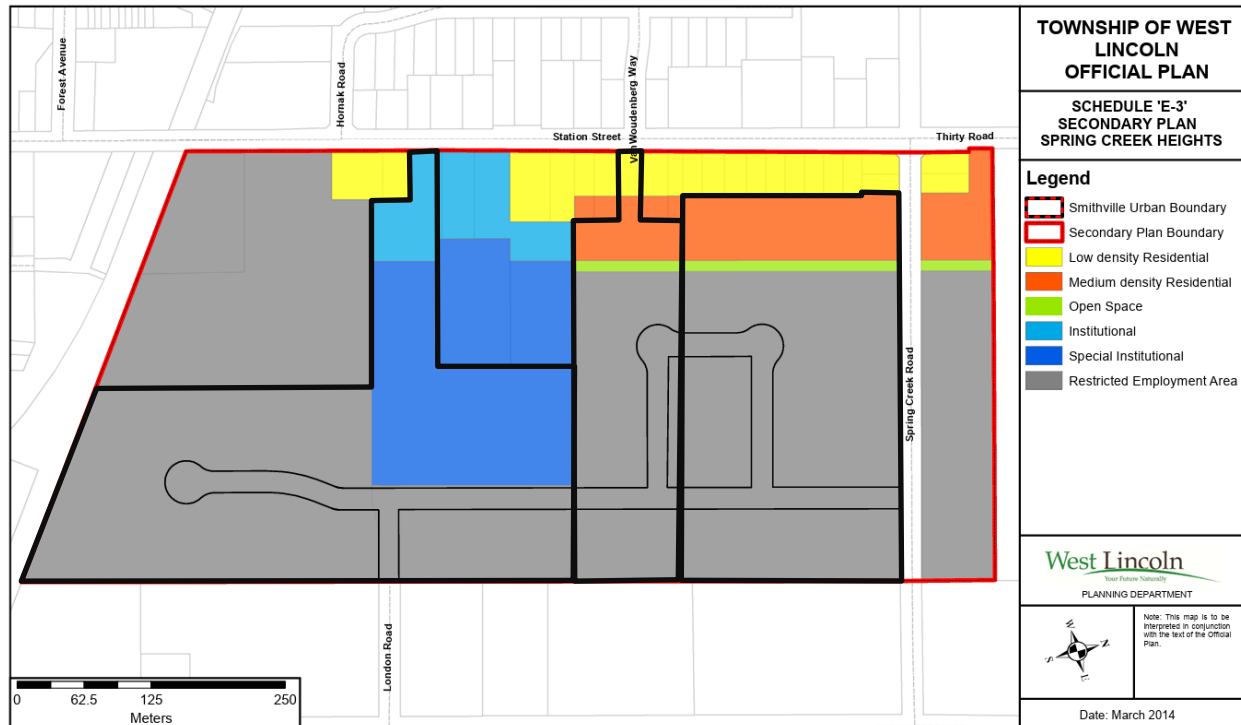


Figure 6 – Schedule 'E-3' Secondary Plan Spring Creek Heights

The proposed applications will facilitate the development of residential and employment lands in accordance with the designations outlined in the Spring Creek Heights Secondary Plan. The proposal aligns with the Secondary Plan.

Consent

Applications for lot creation such as subdivisions or consents are considered under Section 53 of the *Planning Act*, which refers to the criteria of Section 51 of the *Planning Act*.

Subsection 51(24) of the Act prescribes that *"In considering a draft plan of subdivision, regard shall be had, among other matters, to the health, safety, convenience, accessibility for persons with disabilities and welfare of the present and future inhabitants of the municipality and to,"* items a) to m). An overview of how each item is addressed in the context of the consent application is provided below in italics.



- a) the effect of development of the proposed subdivision on matters of provincial interest as referred to in section 2;

The application meets the intent of paragraphs, (f), (h), (j), (k), and (p) of Section 2 of the Planning Act as outlined in the Policy Review section above.

- b) whether the proposed subdivision is premature or in the public interest;

The proposed development is in the public interest as the Subject Lands are located within the built-up area of the Town of West Lincoln, where growth and development are encouraged. The proposal will realign the property boundaries to more efficiently meet the intent of the Spring Creek Heights Secondary Plan for future residential and employment uses.

- c) whether the plan conforms to the official plan and adjacent plans of subdivision, if any;

The development conforms to the Town of West Lincoln Official Plan and Spring Creek Heights Secondary Plan as outlined in the relevant sections above.

- d) the suitability of the land for the purposes for which it is to be subdivided;

The subject lands are located within the built-up area where growth is encouraged. The lands have access to Station Street (Regional Road 14), Spring Creek Road, and London Road which are maintained year-round. Municipal services are available in the nearby vicinity and the proposal will facilitate the redevelopment of an underutilized lot. The designations of subject lands permit the proposed development. Therefore, the land is suitable for the development.

- e) the number, width, location and proposed grades and elevations of highways, and the adequacy of them, and the highways linking the highways in the proposed subdivision with the established highway system in the vicinity and the adequacy of them;

The subject parcel has frontage along Station Street (Regional Road 14), Spring Creek Road, and London Road and these roads can support the proposed development.

- f) the dimensions and shapes of the proposed lots;

The proposed parcels are of adequate shape and size to facilitate the proposed development.

- g) the restrictions or proposed restrictions, if any, on the land proposed to be subdivided or the buildings and structures proposed to be erected on it and the restrictions, if any, on adjoining land;

There are no restrictions or proposed restrictions on the lands to be severed.

- h) conservation of natural resources and flood control;



The lands zoned as Environmental Conservation are not impacted by the consent and boundary adjustment applications and the lands are not located in area that is prone to flooding.

- i) the adequacy of utilities and municipal services;

The Subject Lands are located in a settlement area with access to municipal water and wastewater services and utilities.

- j) the adequacy of school sites;

John Calvin School abuts the subject lands and will service the future residential component of the development.

- k) the area of land, if any, within the proposed subdivision that, exclusive of highways, is to be conveyed or dedicated for public purposes;

Cash in lieu of parkland dedication will be provided in accordance with the Town of West Lincoln By-law 2011-28 – as amended by By-law 2019-87.

- l) the extent to which the plan's design optimizes the available supply, means of supplying, efficient use and conservation of energy; and

The proposed development will include a mix of employment and residential uses. This mix of uses promotes active transportation and an intensification of employment and residential uses which assist in the conservation of energy.

- m) the interrelationship between the design of the proposed plan of subdivision and site plan control matters relating to any development on the land, if the land is also located within a site plan control area designated under subsection 41 (2) of this Act or subsection 114 (2) of the *City of Toronto Act, 2006*. 1994, c. 23, s. 30; 2001, c. 32, s. 31 (2); 2006, c. 23, s. 22 (3, 4); 2016, c. 25, Sched. 4, s. 8 (2).

An application for site plan control will be required at a later stage.

Conclusion

Based on the above, it is my opinion that the consent and boundary adjustment applications and the consent application to create an additional lot are appropriate for the Subject Lands, adhere to and conform with applicable planning legislation, plans and policies and represent good planning. For these reasons, the applications should be supported by the municipality.



**UPPER CANADA
CONSULTANTS**
ENGINEERS / PLANNERS

**Upper Canada Planning
& Engineering Ltd.**

3-30 Hannover Drive
St. Catharines, ON L2W 1A3
T: 905-688-9400
F: 905-688-5274

Respectfully Submitted,

Prepared By:

Callum Gomez, CPT
Development Coordinator
Upper Canada Consultants

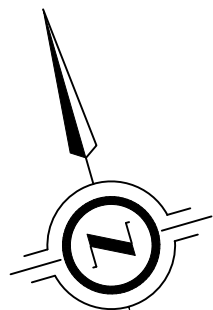
Reviewed By:

William Heikoop, B.U.R.Pl., MCIP, RPP
Planning Manager
Upper Canada Consultants

Appendix I

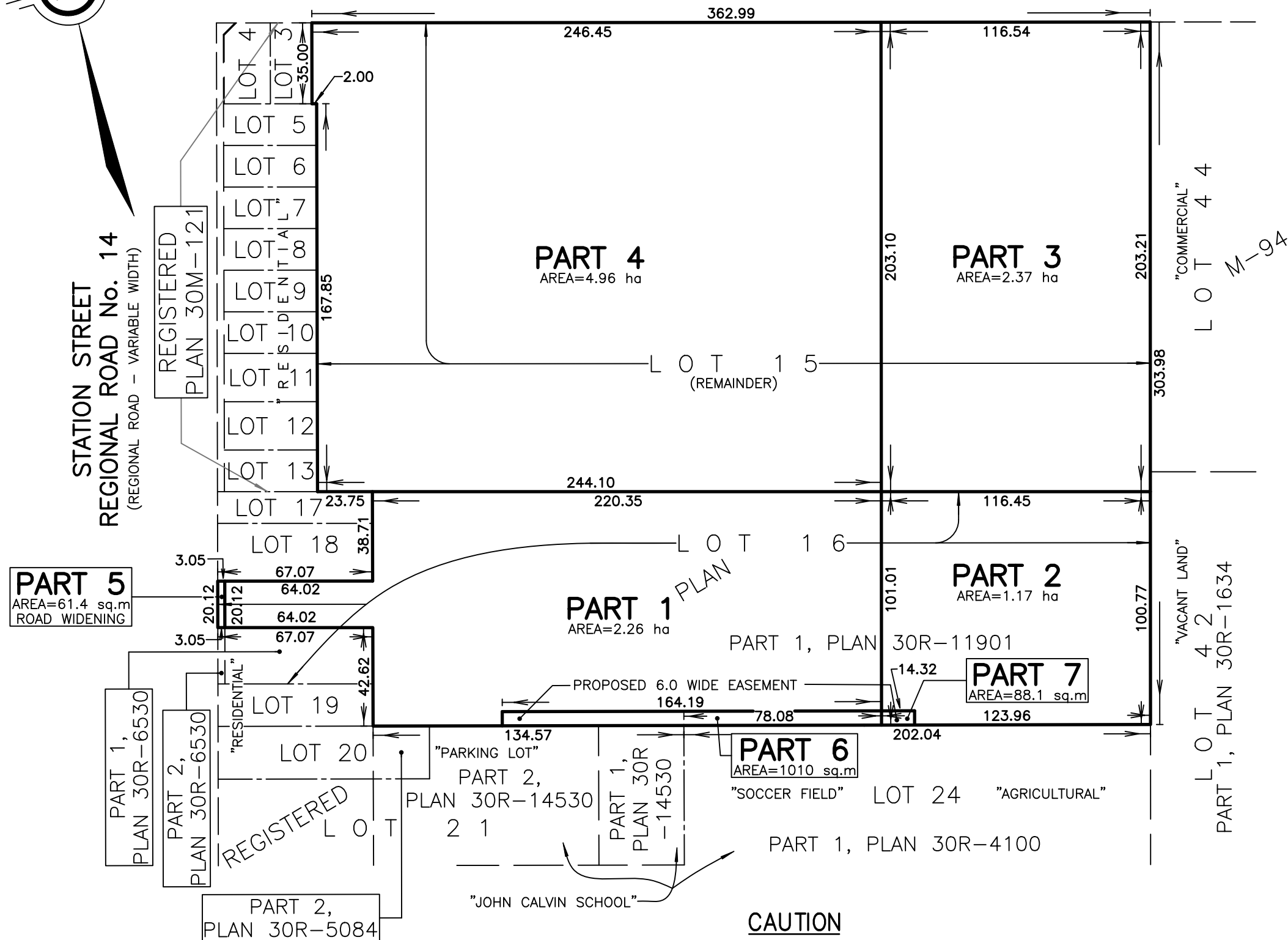
Survey Sketch





STATION STREET
REGIONAL ROAD No. 14
(REGIONAL ROAD - VARIABLE WIDTH)

SPRING CREEK ROAD
(ROAD ALLOWANCE BETWEEN CONCESSIONS 8 & 9, TOWNSHIP OF SOUTH GRIMSBY)
(MUNICIPAL ROAD - 20.12 WIDE)



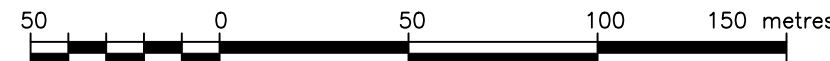
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SKETCH FOR PLANNING PURPOSES ONLY

346 STATION STREET
TOWNSHIP OF WEST LINCOLN
REGIONAL MUNICIPALITY OF NIAGARA
SCALE 1 : 2000

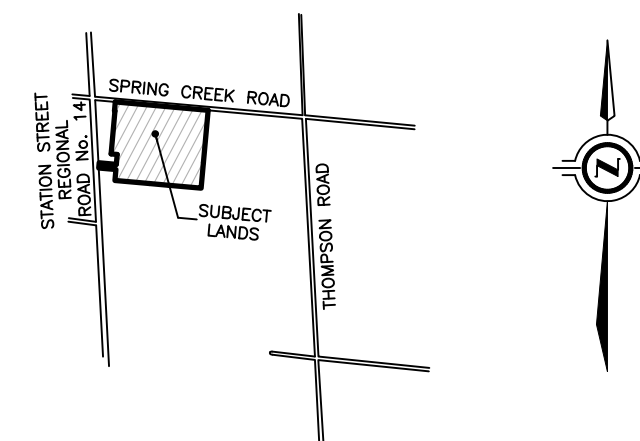


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TOWNSHIP OF WEST LINCOLN

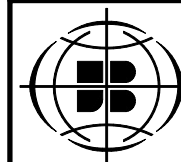
LEGAL DESCRIPTION

PART OF LOTS 15 & 16, REGISTERED PLAN M-94 AS CONFIRMED BY 30BA1691.

BOUNDARY INFORMATION HAS BEEN COMPILED FROM AVAILABLE RECORDS AND HAS NOT BEEN VERIFIED BY ACTUAL FIELD MEASUREMENTS. THIS IS NOT A PLAN OF SURVEY

MAY 23, 2025
DATE

DASHA PAGE
ONTARIO LAND SURVEYOR

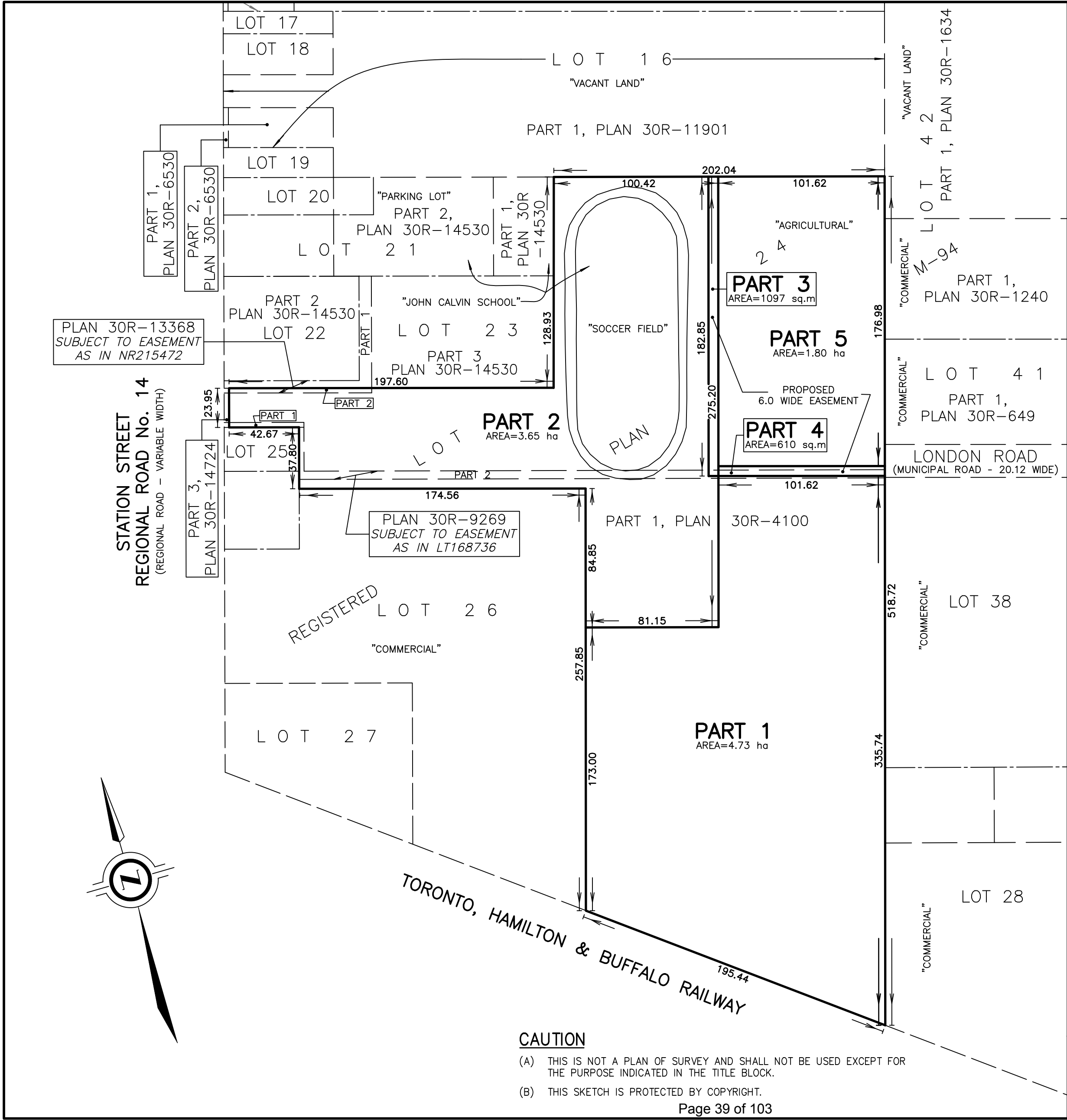


J.D. BARNES
LIMITED

LAND INFORMATION SPECIALISTS
4318 PORTAGE ROAD - UNIT 2, NIAGARA FALLS, ON L2E 6A4
T: (905) 358-6693 F: (905) 358-6224 www.jdbarnes.com

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TW	DRAWN
DP	CHECKED
DATED:	MAY 23/2025
Ref. No.	15-16-105-06

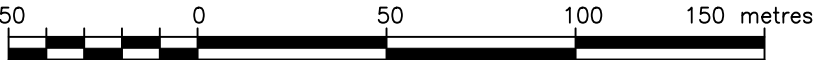


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TOWNSHIP OF WEST LINCOLN

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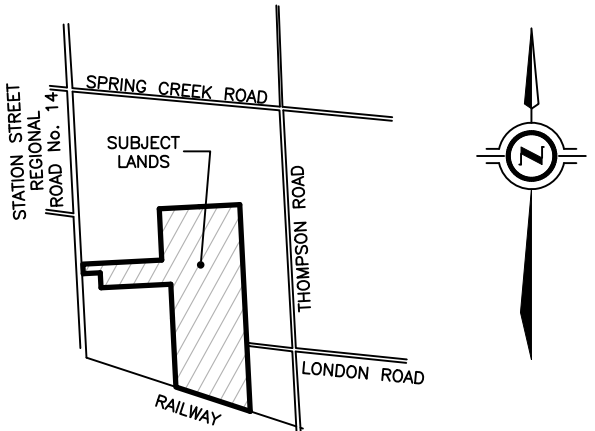


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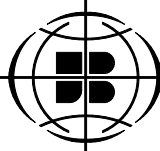
LEGAL DESCRIPTION

PART OF LOT 24, REGISTERED PLAN M-94 AS CONFIRMED BY
30BA1691.

BOUNDARY INFORMATION HAS BEEN COMPILED FROM AVAILABLE
RECORDS AND HAS NOT BEEN VERIFIED BY ACTUAL FIELD
MEASUREMENTS. THIS IS NOT A PLAN OF SURVEY

MAY 23, 2025
DATE

DASHA PAGE
ONTARIO LAND SURVEYOR



J.D. BARNES
LIMITED
LAND INFORMATION SPECIALISTS
4318 PORTAGE ROAD - UNIT 2, NIAGARA FALLS, ON L2E 6A4
T: (905) 358-3693 F: (905) 358-6224 www.jdbarnes.com

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DP	CHECKED
DATED: MAY 23/2025	
Ref. No. 15-16-105-07	

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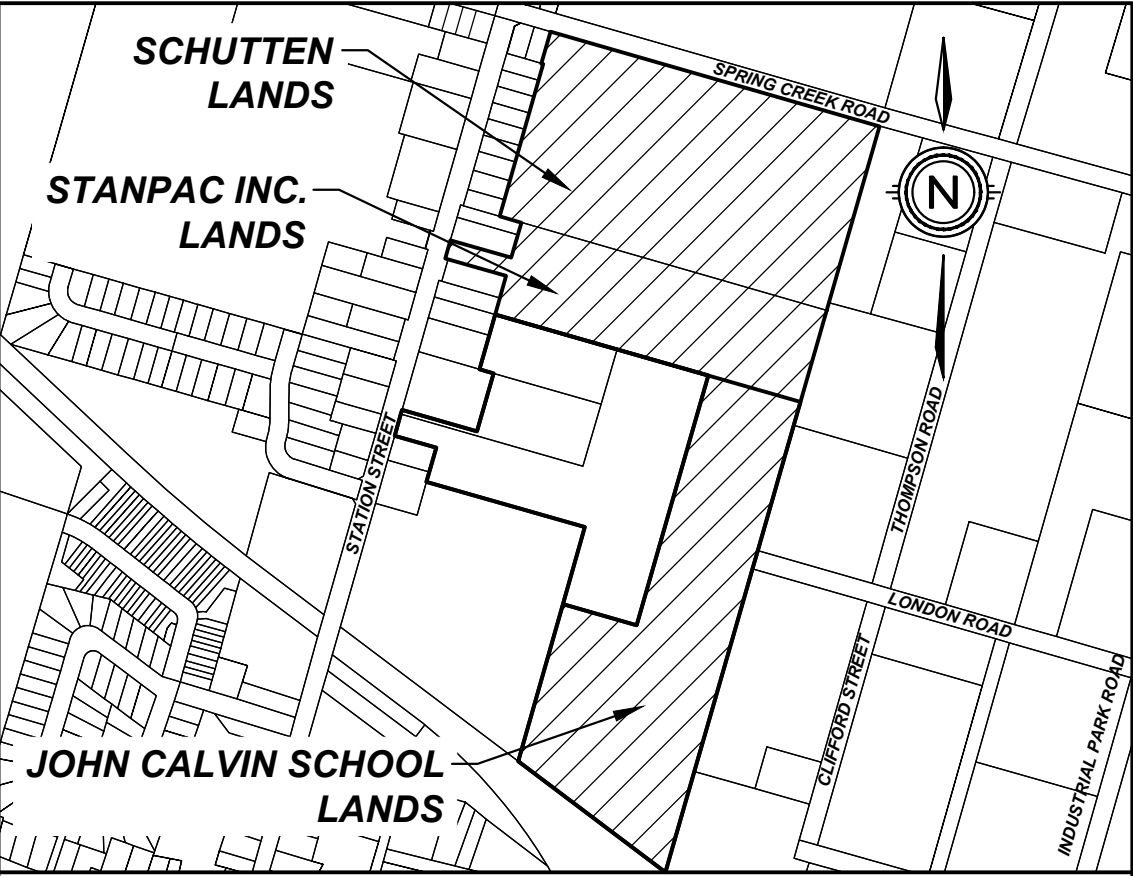
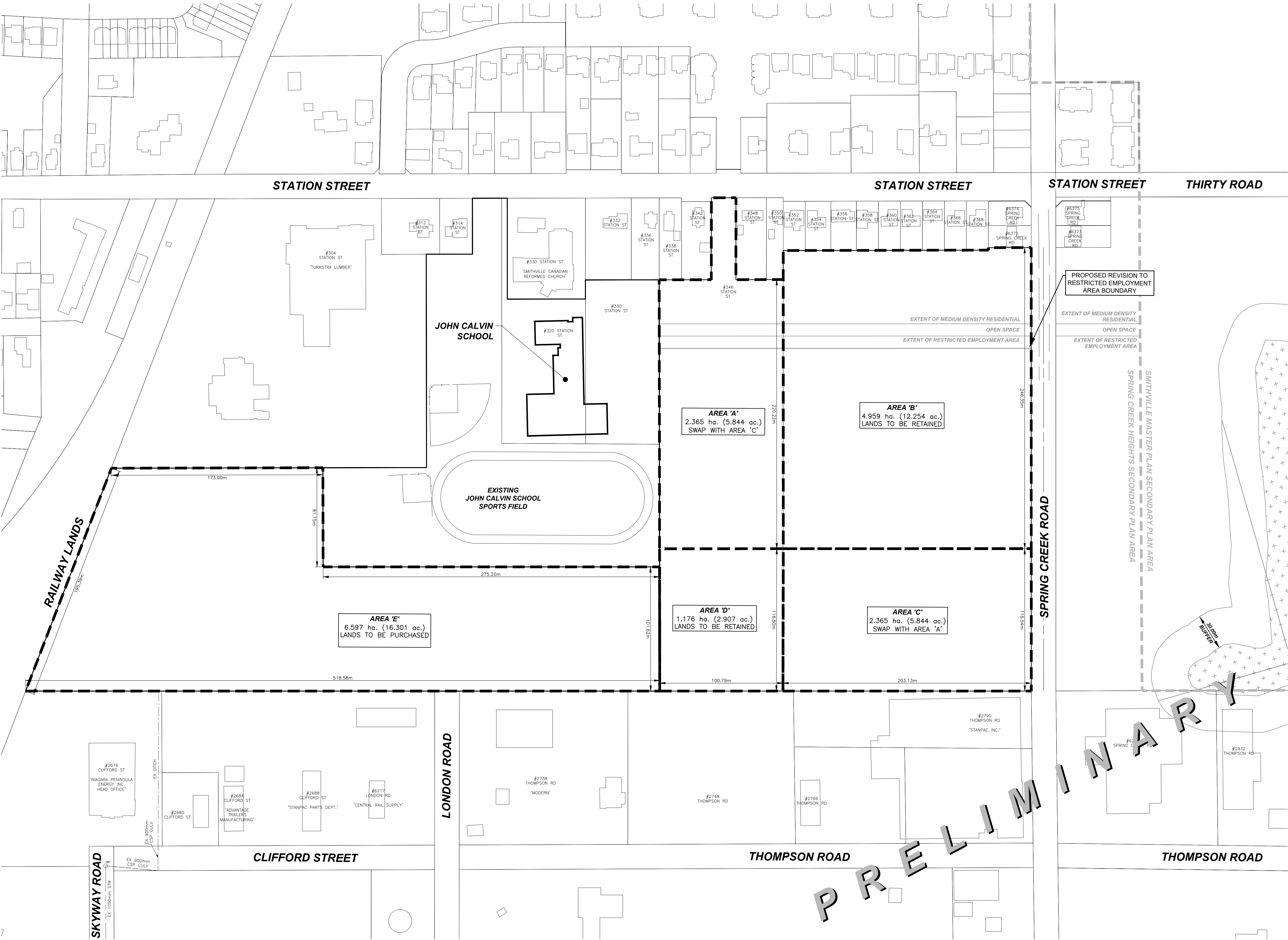
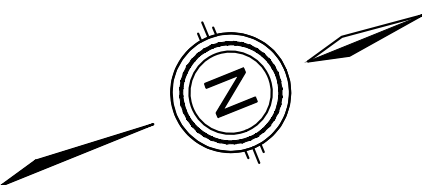
Appendix II

Concept Plan



SPRING CREEK HEIGHTS - LAND SWAP / SEVERANCE PLAN

TOWNSHIP OF WEST LINCOLN



KEY PLAN
N.T.S.

PRE-SWAP LAND OWNERSHIP AREAS

- SCHUTTEN LANDS - NO MUNICIPAL ADDRESS**
7,324 ha. (18,098 ac.)
- STANPAC INC. LANDS - 346 STATION STREET**
3,541 ha. (8,750 ac.)
- JOHN CALVIN SCHOOL - NO MUNICIPAL ADDRESS**
6,597 ha. (16,301 ac.)

17,462 ha. (43,150 ac.) TOTAL

LAND USE SCHEDULE

AREA	ha.	% COVERAGE
AREA 'A'	2,365	13.54
AREA 'B'	4,959	28.40
AREA 'C'	2,365	13.54
AREA 'D'	1,176	6.73
AREA 'E'	6,597	37.78
TOTAL	17,462	100.00

0	ISSUED FOR REVIEW	2025-04-04	M.K.
#	REVISION	DATE	INIT



DRAWING TITLE	DRAFTING	MK.
LAND SWAP / SEVERANCE CONCEPT PLAN	DATE	JANUARY 23, 2025
	PRINTED	APRIL 4, 2025
	SCALE	1:1500
	DWG No.	REV
23103-LSP	0	

Appendix III

Pre-Consultation Agreement

Pre-Consultation Meeting Form

Persons intending to make an application for a proposed development are required to consult with planning staff prior to submitting an application. A pre-consultation meeting will identify what is required to be submitted for a complete application and will provide the opportunity to discuss:

- the nature of the application;
- development and planning issues;
- fees;
- the need for information and/or reports to be submitted with the application;
- the planning approval process;
- other matters, as determined.

Individuals who make written submissions with respect to a Planning Act application should be aware that their submission and any personal information in their correspondence will become part of the public record and made available to the Applicant, Committee and Council.

Pre-Consultation Meeting Date: Thursday April 23, 2025

Site Address:346 Station Street, Spring Creek Road

Approximate Land Area (metric):Combined Area "A – E" = 17.462 hectares

Site Legal Description:

Owner Contact Information:

Name of Owner:Stanpac Inc. & John Calvin School & Al Schutten

Phone Number:Email:

Principal Contact:Callum Gomez (UCC)

Phone Number:905-688-9400Email:callum@ucc.com

Application Type:

- ☐ Official Plan Amendment (OPA)
- ☒ Zoning Bylaw Amendment (ZBA) (To be confirmed by Owner to proceed at a later stage)
- ☐ Combined OPA/ZBA
- ☒ Consent – Severance to Create New Lot☒ Boundary Adjustment☐ Consent- Easement |
- ☐ Minor Variance
- ☐ Development Agreement
- ☒ Site Plan (To be completed at a later stage after Zoning By-law Amendment)
- ☐ Draft Plan of Subdivision
- ☐ Draft Plan of Condominium Standard☐ Vacant Land☐ Common Element☐
- ☐ Other

Local Municipal Contact: Susan Smyth

Phone: 905-957-3346 x 5133

Email: ssmyth@westlincoln.ca

1. Brief description of proposed development:
Proposed consent and two (2) lot boundary adjustments to facilitate a land swap outlined on the severance plan. Area "A" is to swap with Area "C" and Area "B" and Area "D" lands are to be retained. Area "E" will be severed from the JCS school parcel to facilitate future employment.
2. Check All Applicable: Brownfield☐ Greenfield☐ Built-up☒ Greenbelt☐ Local CIP Area☐
3. Development Charges: Regional☒ Local☒
4. Existing Local Official Plan Designation: Designated Greenfield, Medium Density Residential, Open Space, Special Institutional, Restricted Employment Area
- Conformity with Official Plan land use designations and policies? : Yes☒ No☐
- If 'No', what is the nature of the amendment needed?

5. Existing Zoning: Development (D), Environmental Conservation (EC), Industrial Employment (M2)

Conformity with existing zoning? : Yes ☐ No ☒

If 'No', what is the proposed zoning? Will require to rezone the D zone to M2 for any future employment development

6. Urban Design Guideline Applicable? Yes ☒ No ☐

7. Is Site Plan approval required? Yes ☒ No ☐

8. Open House Required? Yes ☐ No ☒

9. Fees Required at time of Submission of the Application (2025 Fees)

Application	Township Planning Department	Region of Niagara	Niagara Peninsula Conservation Authority	Other Fees
Regional Policy Plan Amendment				
Local Official Plan Amendment				
Local Zoning By-law Amendment	\$10,619 (To be confirmed)			
Minor Variance				
Plan of Subdivision				
Plan of Condominium				
Consent	\$3,264 (1 severance Application) \$1,632 (2 Lot Boundary Adjustment Applications)			
Site Plan Approval	\$9,340 (Later stage)			
Development Agreement				
Other – Technical Studies				
Other –Parkland Dedication				
Other (Block Plan Application Approval)				
Final Certification	\$838 x 3 = \$2,514 (to be paid when all conditions are cleared)			
Pre-con fee deposit	\$525*			
TOTAL	For Severance and Lot Boundary Adjustments Only \$6,528 - \$525 = \$6,003 Zoning By-law Amendment and Site Plan to be provided at a later stage	Refer to comments	Refer to Comments	

- Notes on Fees:
- Notwithstanding the fees noted above, all fees are payable based upon the rate in the fee schedule by-law in effect on the date the application is received.
 - Further fees may be required at a later date as per the fee schedule by-law.
 - Separate cheques shall be made payable to the appropriate agency.
 - In addition to all application fees set out above, the applicant shall pay to the Township prior to final approval, all peer review fees, engineering review costs and legal fees incurred by the Township in reviewing the application.
 - *\$525 to be taken off of one application fee if applied for within one year of the date of the pre-consultation meeting.

10. Additional Agencies to be contacted:

Hydro ☐ Pipelines ☐ ☒ Railway

11. Additional Comments:

TOWNSHIP PLANNING

The proposal includes three separate parcels of land as described below.

Area “A” (2.365 ha/5.844 acres) and Area “D” (1.176 ha/2.907 acres) is owned by Stanpac Inc. and is one parcel municipally known as 346 Station Street. This parcel has frontage on the east side of Station Street and located south of Spring Creek Road.

Area “B” (4.959 ha/12.254 acres) and Area “C” (2.365 ha/5.844 acres) is owned by Al Schutten for future residential and employment development. These parcels are vacant and have frontage on the south side of Spring Creek Road.

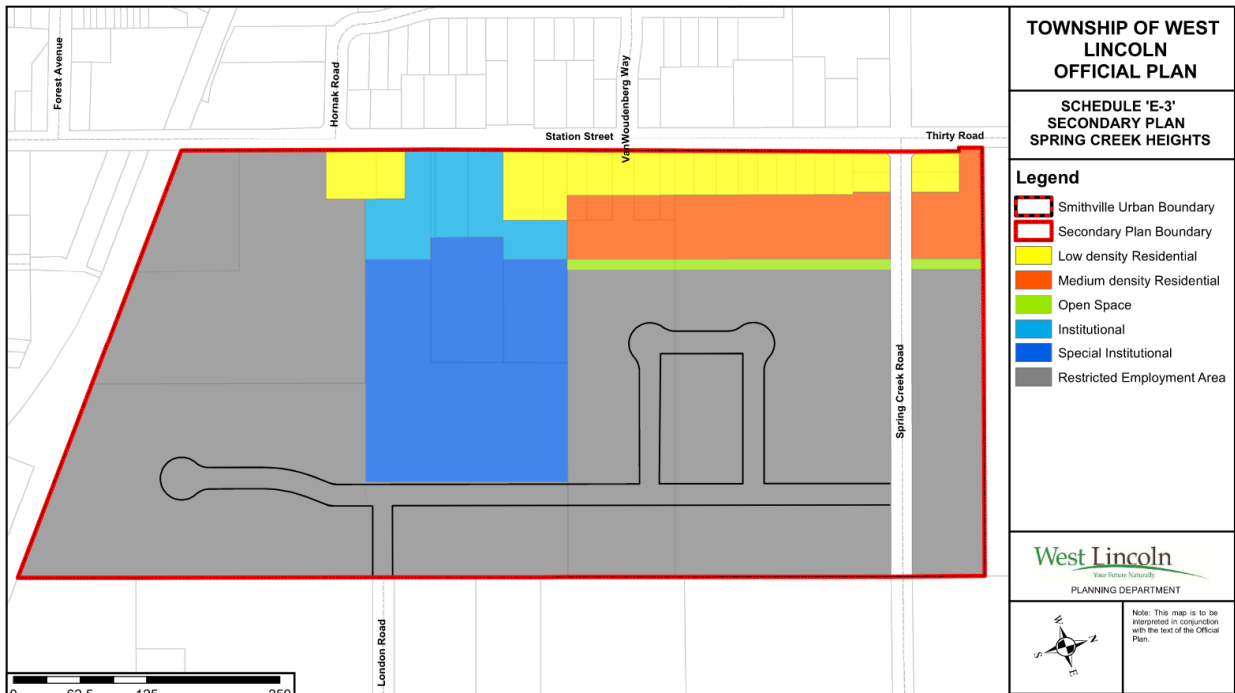
Area “E” (6.597 ha/16.301 acres) is owned by the John Calvin School (JCS) and set behind the school and track bounded by the railway tracks to the south and industrial lands to the east off Clifford Street. This site has frontage on the west side of London Road although would be deficient from the required 30m for the M2 zone.

The proposal is to sever Area “E” from JCS and to be retained for future employment uses.

Two (2) lot boundary adjustments would be required for Area “A” to be swamped with Area “C” having the same area. Then Area “A” and “B” would be consolidated into one larger parcel that would implement the Spring Creek Secondary Plan for residential and employment uses. Then the boundary adjustment for Area “C” and “D” of which would be consolidated as a larger parcel dedicated for restricted employment uses.



The Township’s Official Plan designates the areas as Spring Creek Heights Secondary Plan. Area “A” and “B” are planned for low and medium density residential, with dedicated open space, Areas “C” and “D” as restrictive employment area, and Area “E” with the JCS is intended to remain as institutional.



The Township’s Zoning By-law 2017-79 as amended, zones Areas “A”, “B”, “C” and “D” as Development Zone (D) with a small section of Environmental Conservation (EC), and Area “E” as Institutional (I) and Industrial Employment (M2).

Staff are encouraged by the proposal to realign and consolidate the parcels to meet the intent of the secondary plan for future residential and employment uses.

Please note that a zoning by-law amendment application is required to change the D zone to the employment zone that is conducive to future employment and industrial uses, likely M2 zone. This will also require a Planning Justification Report to address the policies of the secondary plan and related policies to employment, servicing (infrastructure) and transportation. The amendment will also require land use compatibility study (D6 MOECP guidelines) for sensitive uses in proximity to industrial and employment uses).

The EC zone can be amended subject to a constraints analysis prepared by a professional ecologist or biologist to confirm the natural features and potential impacts, mitigation measures for the proposed development.

For the Severance and Lot Boundary Adjustment Applications, the following will be required:

- Reference plan for the Station Street road widening
- Survey sketches for the severance and lot boundary adjustments
- 1 severance application
- 2 lot boundary adjustments
- Application and fees

For the Zoning By-law Amendment Application, the following will be required:

- Planning Justification Brief
- Draft by-law and schedule
- Land Use Compatibility Study (D6 MOECP guidelines)
- Constraints Analysis (Scoped EIS)
- Stormwater Management Brief including plans
- Functional Servicing Brief including site servicing plans
- Application and fees

For the Site Plan Approval Application, the following will be required:

- Site plan
- Fire route plan
- Landscape plan
- Final site servicing plan and grading plan
- Sediment and erosion control plan
- Lighting plan
- Application and fees

REGION OF NIAGARA

Refer to Region comments provided separately.

NPCA

Refer to NPCA comments provided separately.

TOWNSHIP PUBLIC WORKS

A grading plan, site servicing brief, site servicing plan, landscape plan, erosion and sediment control plan will be required for review and approval.

TOWNSHIP BUILDING

Requires the OBC matrix on the site plan. Development charges are applicable for future residential and employment development. Provide fire route and turning movements for vehicles.

12. Site Visit: No
13. Incentive Programs: Not applicable
14. Required Information and Studies to be submitted with the Application(s). Studies identified with an asterisk* will likely require a peer review at the cost of the developer.

Local	Region	NPCA	Reports, Studies, Plans (See Notes for additional details)	No. of Copies		Notes: 2 hard copies of all documents
				Digital	Paper	
X			Planning Justification Report	X	X	For the zoning by-law amendment application
			Conceptual Site Plan showing building envelope			
X	X		Survey	X	X	Survey sketch and new legal description and PIN consolidation Provide reference plan for road widening on Station Street
			Draft Regional Policy Plan Amendment			
			Draft Local Official Plan Amendment			
X			Draft Zoning By-law Amendment			
			Land Use/Market Needs*			
			Urban Design / Landscape Plans			
			Archaeology Assessment			
			Cultural Heritage Impact Assessment*			


Local	Region	NPCA	Reports, Studies, Plans (See Notes for additional details)	No. of Copies		Notes: 2 hard copies of all documents
				Digital	Paper	
X			Environmental Impact Study	X	X	Constraints analysis (Scoped EIS)
			Environmental Planning Study/ Sub-Watershed Study			
			Tree Inventory Preservation Plan			
			Floodplain and Hazard Lands Boundary Plan			
			Geotechnical			
			Environmental Site Assessment			
			Air Quality/Noise & Vibration Study*			
			Agricultural Impact Assessment			
			Farm Operation and Ownership			
			Minimum Distance Separation I & II			
			Mineral Aggregate Resources			
X			Municipal Servicing Study	X	X	Servicing brief and servicing and grading plan
			Phasing Plan			
X			Sensitive Land Use Report/Land Use Compatibility	X	X	D6 MOECP Guidelines
			Slope Stability Report			
X	X		Stormwater Management Plan	X	X	Sediment and erosion control plan
			Transportation Impact Study/Parking Impact Analysis			
			Hydrogeological Study and Private Servicing Plans*			
			Soil report			
			Financial Impact Assessment*			
			Shadow Analysis			
			Risk Management Study			
			Gas Well Study/Gas Migration Study			
			Wind Study*			
			Cistern for Fire Purposes under OBC			
			Other*			

Notes:

1. The purpose of this document is to identify the information required to commence processing and evaluating an application as set out in the Planning Act. This pre-consultation process is designed to proceed based on the mutual agreement of the parties as shown by the signatures below.
2. Pre-consultation does not imply or suggest any decision whatsoever on behalf of staff or the municipality to either support or refuse the application.
3. The applicant should be aware that the information provided is accurate as of the date of the pre-consultation meeting. Should an application not be submitted in the near future, and should other policies, by-laws or procedures be approved by the Province, Municipality, Region or other agencies prior to the submission of a formal application, the applicant will be subject to any new policies, by-laws or procedures that are in effect at the time of the submission of a formal application. If an application is not submitted within 1 year, it is advisable that the applicant confirm with the municipality the directives of the original pre-consultation meeting.
4. Any application submitted without the information identified in this Pre-consultation Document will be deemed incomplete and not processed. Alternately, staff may recommend refusal of the application based upon insufficient information to properly evaluate the application.
5. The applicant acknowledges that the Municipality and Region considers the application forms and all supporting materials including studies and drawings, filed with any application to be public information and to form part of the public record. With the filing of an application, the applicant consents and hereby confirms that the consent of the authors of all supporting reports have been obtained, to permit the Municipality and Region to release the application and any supporting materials either for its own use in processing the application, or at the request of a third party, without further notification to, or permission from, the applicant.
6. It is hereby understood that during the review of the application additional studies or information may be required as a result of issues arising during the processing of the application or the review of the submitted studies.
7. If the Municipality or Region does not have sufficient expertise to review and determine that a study is acceptable, the Municipality may require a peer review. The cost of the peer review shall be paid for by the applicant. The Terms of Reference for a peer review is determined by the Municipality or Region.
8. Some studies may require NPCA review and clearance/approval. In this instance, the NPCA review fee shall be paid by the applicant.
9. All plans and statistics must be submitted in metric.

10. It is hereby understood that during the review of the application additional applications, studies or information may be required as a result of issues arising during the processing of the application.
11. There may also be financial requirements arising from the application, including, but not limited to, parkland dedication, development charges, payment of outstanding property taxes, deferred local improvement charges, cost for lifting 0.3 metres reserves, and reimbursement for road widening acquisition or road improvements.
12. Engineering review done in association with an application will be billed to the applicant.

Signatures: Signatures: (To be filled out following the pre-con meeting – who was in attendance)

<u>Susan Smyth</u> Township Planning Staff	 Township Planning Staff (signature)	<u>April 23, 2025</u> Date
<u>Township Public Works Staff</u>	<u>Township Public Works (signature)</u>	<u>Date</u>
<u>Township Building Staff</u>	<u>Township CBO (signature)</u>	<u>Date</u>
<u>Regional Staff</u>	<u>Regional Staff (signature)</u>	<u>Date</u>
<u>NPCA Staff</u>	<u>Conservation Staff (signature)</u>	<u>Date</u>
<u>Agent</u>	<u>Agent (signature)</u>	<u>Date</u>
<u>Owner</u>	<u>Owner (signature)</u>	<u>Date</u>



June 3, 2025

MEMO

RE: **Spring Creek Heights Land Swap (SWM)**
Township of West Lincoln

The developers of Spring Creek Heights have agreed to swap lands as indicated on the enclosed Severance Concept Plan. The lands will be developed for both residential and industrial land uses. Appended to this memo is the Spring Creek Heights Land Swap Overall Stormwater Management Plan. The results of the SWM report are as follows:

1. Each individual development involved in the land swap, must provide quantity controls for the 5 year storm event, such that the combined flow entering the Skyway Road storm sewers do not exceed the capacity of the storm sewers.
2. Quantity controls are not required for the major storm events due to the location of the subject lands within the overall watershed for Twenty Mile Creek. Therefore, detaining future peak stormwater flows on site will delay the stormwater peak from the site to match with the greater stormwater peak of from the upstream lands within the Twenty Mile Creek watershed.
3. Each development is required to provide stormwater quality controls to Enhanced Protection Levels (80% TSS removal) in accordance with MECP guidelines prior to outletting to Twenty Mile Creek.

It is proposed to extend the storm sewer on Skyway Road within the site through an easement as shown on the Proposed Servicing Plan appended to this report. The proposed storm sewer will service the proposed industrial developments and will extend to the southern limits of Al Schuttens Industrial Development. At the time the SWM report was completed, the intention was to extend the storm sewer to Al Schuttens Residential Development at the north limits of the subject lands. This option was the most feasible option for servicing the proposed residential development, since the existing SWM Facility in the Station Meadows development was at capacity, and a new storm sewer would have to be constructed on Van Woudenberg Way from Hornak Road to Station Street (Regional Road 14). Following the pre-consultation submission/meeting, the Town has indicated that the owner of the Station Meadows development (Peter Budd) intends to increase the capacity of the SWM pond. However, at this time we do not have the required information from Peter Budd, to determine the feasibility of having the proposed residential subdivision outlet to the Station Meadows Storm Sewers.

Therefore, until it is confirmed that the Station Meadows storm sewers and SWM facility has capacity to receive flows from Al Schuttens Residential Development, the proposed SWM plan will allocate capacity within the proposed storm sewer that will extend within the subject lands from Skyway Road as proposed in the attached SWM plan.

Respectfully submitted,

Zach Barber, E.I.T.
 June 5, 2025.

PRELIMINARY STORMWATER MANAGEMENT PLAN

SPRING CREEK HEIGHTS LAND SWAP

TOWNSHIP OF WEST LINCOLN

Prepared by:

**Upper Canada Consultants
3-30 Hannover Drive
St. Catharines, Ontario
L2W 1A3**

April 2025

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APPENDICES

Appendix A	Existing Storm Sewer Analysis
Appendix B	Modified Rational Method – 5 Year Future Storm Sewer Analysis
Appendix C	Modified Rational Method – 100 Year

REFERENCES

1. Stormwater Management Planning and Design Manual
Ontario Ministry of Environment (March 2003)
2. Master Servicing Plan – Smithville Industrial Park (1994, rev.1996) by Philips Planning
and Engineering Ltd.

STORMWATER MANAGEMENT PLAN
SPRING CREEK HEIGHTS LAND SWAP
TOWNSHIP OF WEST LINCOLN

1.0 INTRODUCTION

1.1 Study Area

Stanpac Inc. and Allan Schutten have come to an agreement to swap lands as indicated on Figure 1 below. All properties involved in this land swap will be referred to as the subject lands hence fourth. The subject lands are located southeast of Regional Road 14 (Station Street), south of Spring Creek Road, north of Thompson Road and Clifford Street and north of CPKC Hamilton Subdivision (Railway Lands). The subject lands are divided into three separate properties the central property is known municipally as 346 Station Street, the southern and northern properties do not have a municipal address. As part of the land swap Allan Schutten will retain the lands located at the northwestern portion of the subject lands these lands will hence fourth be referenced as the Spring Creek Lands as shown on Figure 1 below. It is planned to develop a portion of the Spring Creek Lands as residential and the other portion as industrial. Stanpac Inc. will retain the lands located at the northeastern portion of the subject lands adjacent to there existing property at 2790 Spring Creek Road. Stanpac intends to develop these lands as industrial.

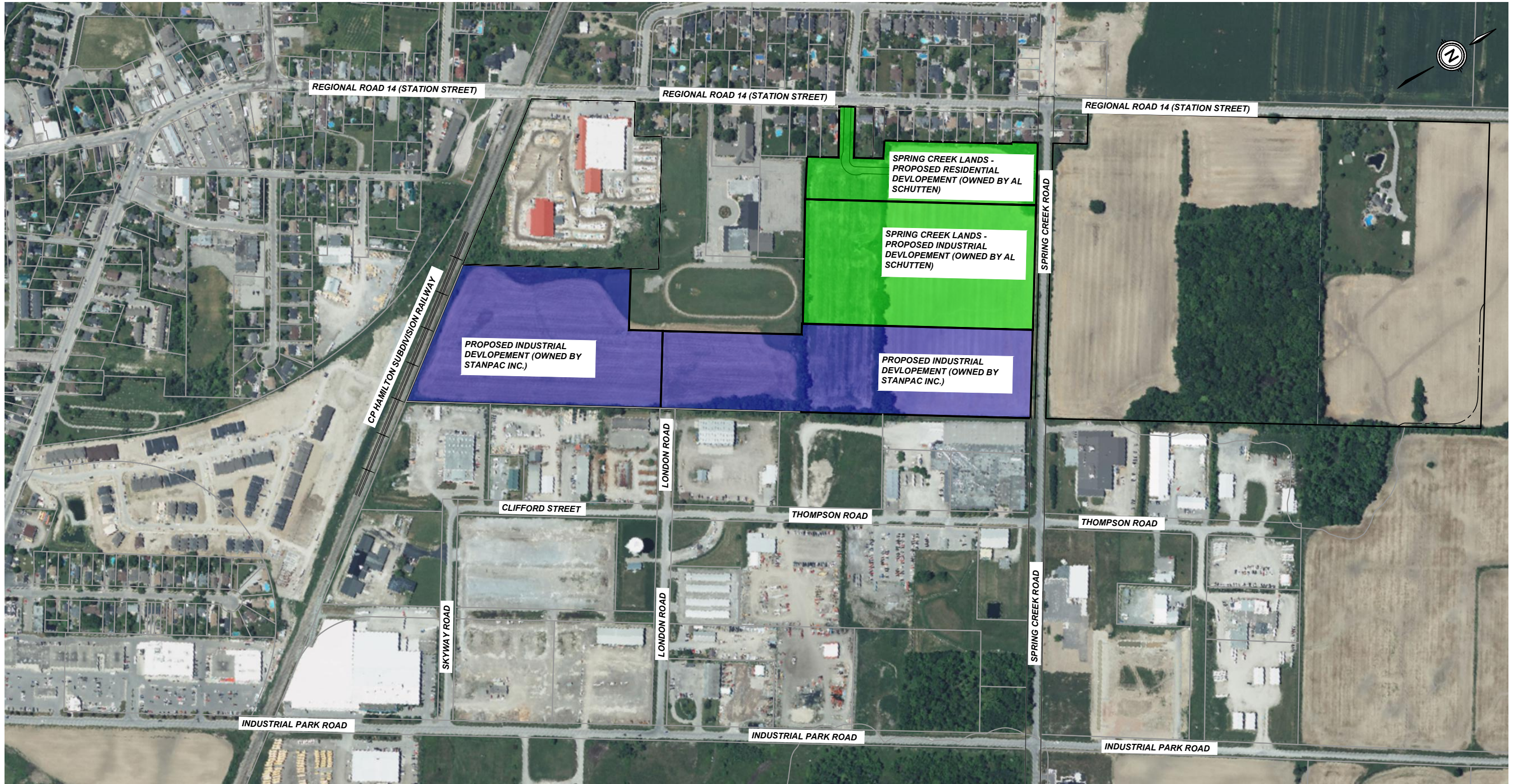
As part of the land swap John Calvin Christian School has agreed to sell a portion of their lands to Stanpac Inc. As shown in Figure 1, these lands include everything from the southern limits of the subject lands where it fronts the Railway Lands and will be bound by the existing track and field facility to the west and the existing properties fronting Clifford Street to the east. Stanpac Inc intends to develop these lands as industrial.

All properties within the approximately 18 ha subject lands will include associated asphalt road, concrete curb, catch basins, storm sewers, sanitary sewers and watermain. The drainage areas contributing to this stormwater management plan consist primarily of the subject lands.

1.2 Objectives

The objectives of this study are as follows:

1. Establish specific criteria for the management of stormwater from the subject lands.
2. Determine the impact of the developments on the stormwater peak flow & volume from the subject lands.



SPRING CREEK LAND SWAP

TOWNSHIP OF WEST LINCOLN

SITE LOCATION

DATE	2025-04-04
SCALE	1:5000 m
REF No.	.
DWG No.	FIGURE 1

1.3 Existing & Proposed Conditions

a) Existing Conditions

Upon review of the “Smithville North” Stormwater Management Master Plan by Philips Planning and Engineering Ltd. it has been determined that the subject lands are divided into two separate watersheds the Northwest Watershed and the Northeast Watershed. Flows from both watersheds ultimately outlet to Twenty Mile Creek.

Stormwater flows from the subject lands located in the Northwest Watershed outlet to Regional Road 14 (Station Street) or to the ditch that runs parallel to the CP Hamilton Subdivision Railway. The stormwater flows from the Northwest watershed then converge on the west side of Regional Road 14 (Station Street) before crossing the CP Hamilton Subdivision Railway through an existing watercourse that is tributary to Twenty Mile Creek and ultimately outlets to Twenty Mile Creek at the south limits of Wade Road.

Stormwater flows from the subject lands in the Northeast watershed either outlet to Clifford Street through London Road or to the CP Hamilton Subdivision Railway through an existing watercourse that starts south of London Road. Overland Flows on Clifford Street continue down Skyway Road to Industrial Park Road and Outlet to Twenty Mile Creek east of the intersection of Industrial Park Road and Regional Road 20 (St. Catharines Street). The stormwater flows that outlet to the CP Hamilton Subdivision Railway cross the railway south of the easement between 2676 Clifford Street and 6254 Skyway Road and continue through a tributary watercourse to Twenty Mile Creek that flows southerly through the Old Town Subdivision to Regional Road 20 (St. Catharines Street) and outlets to Twenty Mile Creek.

There is a 1050mm diameter storm sewer on Skyway Road that begins at the intersection with Clifford Street and flows easterly where it outlets to a 1050mm diameter storm sewer on Industrial Road. The 1050mm diameter storm sewer on industrial road then outlets to a 1500mm diameter storm sewer that crosses the CP Hamilton Subdivision Railway. Minor flows from the subject lands enter the roadside ditches on Clifford Street and then outlets to the storm sewer on Skyway Road through a 900mm HDPE culvert.

Historically, the site has been agricultural land. Based on the Smithville North Master Drainage Plan the soils of this watershed are silty clays and are rated as hydrologic soil group “C”.

b) Proposed Conditions

As part of the land swap Allen Schutten's land will be divided into two separate developments. A portion of lands will be residential development. The other portion of Allen Schutten's lands is proposed to be developed as industrial. Stanpac Inc. plans to expand its operations, and therefore both portions of land that Stanpac shall obtain through the land swap will be industrial.

The developments will be constructed with asphalt pavement, concrete curb and gutters, storm sewers, sanitary sewers and watermain.

2.0 STORMWATER MANAGEMENT CRITERIA

New developments are required to provide stormwater management in accordance with provincial and municipal policies including:

- Stormwater Quality Guidelines for New Development (MECP/MNRF, May 1991)
- Stormwater Management Planning and Design Manual (MECP, March 2003)

Based on the comments and outstanding policies from the Town of West Lincoln, Region of Niagara, Niagara Peninsula Conservation Authority (NPCA), and the Ministry of the Environment, Conservation and Parks (MECP), the following site-specific considerations were identified:

- The receiving watercourse (Twenty Mile Creek) has been classified as Critical Fish Habitat (Type 1) by the Ministry of Natural Resources. Based on this fish habitat classification, the corresponding minimum MECP level of protection for new developments in this watershed will be Enhanced (80% TSS Removal).
- The subject lands are located immediately upstream of Twenty Mile Creek. Since Twenty Mile Creek is an extremely long watercourse that begins in Hamilton and outlets to Lake Ontario through Jordan Harbor, detaining future peak stormwater flows on site will delay the stormwater peak from the site to match with the greater stormwater peak of from the upstream lands within the Twenty Mile Creek watershed. Therefore, stormwater quantity controls are not considered necessary for the subject lands due to the location of the subject lands within the overall watershed for Twenty Mile Creek.
- Minor flows from the subject lands that outlet to the storm sewer system on Skyway Road will be required to be controlled to the capacity of the 1050mm diameter storm sewer.

Based on the above and a review of the site-specific considerations, the following stormwater management criteria have been established for the subject lands:

- Stormwater **quality** controls are to be provided to Enhanced Protection Levels (80% TSS removal) in accordance with MECP guidelines prior to outletting to Twenty Mile Creek.
- Stormwater **quantity** controls are to be provided from the subject lands for the 5 year design storm event to the capacity of the existing 1050mm diameter storm sewer on Skyway Road.
- Stormwater **quantity** controls are not required for major overland flows discharging from the subject lands.

3.0 STORMWATER ANALYSIS

A preliminary stormwater analysis was conducted using Modified Rational Method to assess existing and future peak flows from the proposed development area. Quantity and quality controls are to be provided by each individual development involved in this land swap. Therefore, for the purposes of this analysis the way in which each individual site provides quantity and quality controls will not be determined. Instead, this analysis will determine the maximum allowable stormwater flows for each individual development and the required stormwater storage to achieve these flows.

3.1 Design Storms

The Master Servicing Plan – Smithville Industrial Park (1994, rev 1996) by Philips Planning and Engineering Ltd. and every subsequent development included in the Industrial Park Area used the following design storm hydrographs summarized in table 1. The hydrographs were developed using a Chicago distribution based on the Intensity-Duration-Frequency curves for West Lincoln at the time the Master Servicing Plan was written. Therefore, the following stormwater analysis for the subject lands will continue to use the same IDF values, to remain consistent with the Master Servicing Plan.

Table 1. Rainfall Data			
Design Storm (Return Period)	Chicago Distribution Parameters		
	a	b	c
5 Year	1039.20	7.00	0.82
100 Year	2138.00	9.00	0.86
$Intensity \ (mm/hr) = \frac{a}{(t_d + b)^c}$			

3.2 Existing Conditions

The existing conditions were evaluated to determine the peak stormwater flows prior to the development within the subject lands and surrounding areas that outlet to the Skyway Road storm sewers. The existing drainage areas for the subject lands and the Skyway Road storm sewers are shown in Figure 2. These drainage areas were determined from field investigations and a combination of topographic surveys and topographic information from the Regional Niagara DTM. The subject lands are comprised of Drainage Areas EX3, EX4 EX5, EX6 and part of EX2 and EX7.

Drainage Areas EX1, EX2, EX6 and EX8 outlined in Figure 2 are located within the Northwest Watershed. Drainage Areas EX6 and EX8 outlet to the Railway Lands at Outlet E in the north side ditch and flows westerly to Regional Road 14 (Station Street) at Outlet A. Drainage Areas EX1 and EX2 outlet to Regional Road 14 (Station Street). Stormwater flows on Regional Road 14 (Station Street) flow southerly to Outlet A. All flows from the subject lands located within the Northwest Watershed converge at Outlet A and outlet a tributary to Twenty Mile Creek. This watercourse crosses the CP Hamilton Subdivision Railway at Outlet A and ultimately outlets to Twenty Mile Creek at the south limits of Wade Road.

Drainage Areas EX3, EX4, EX5, and EX7 within the subject lands are located within the Northeast Watershed.

Drainage Area EX3 outlets to an existing stormwater management facility at Outlet B owned by Stanpac at 2748 Thompson Avenue in Drainage Area E1. This facility was designed to control stormwater flows entering the roadside ditch on Thompson Road from Drainage Areas E1 and EX3 to an equivalent runoff coefficient of 0.32.

Drainage Area EX 4 outlets to London Road at Outlet C through Drainage Area E2 to Clifford Street and enters the roadside ditch on Clifford Street. Drainage Area E7 contains the existing Track and Field Facility at John Calvin Christian School. The Track and Field Facility has an underground drainage system that collects minor stormwater flows and outlets to a 6" pipe at the southeast corner of Drainage Area EX7. The 6" pipe outlets to Drainage Area E5 and enters the storm sewer system on Skyway Road through a 900mm diameter culvert. Overland flows from Drainage Area EX7 outlet to Drainage Area EX4 and continue to London Road.

Overland Flows from Drainage Areas EX3, EX4, and EX7 converge on Clifford Street and continue down Skyway Road to Industrial Park Road at Outlet G and Outlet to Twenty Mile Creek east of the intersection of Industrial Park Road and Regional Road 20 (St. Catharines Street).

Drainage Area EX5 outlets to the Railway Lands in the north side ditch at Outlet D and flows easterly to the culvert crossing under Railway Lands between 2676 Clifford Street and 6254 Skyway Road at Outlet F. Then continue through a tributary watercourse to Twenty Mile Creek that flows southerly through the Old Town Subdivision to Regional Road 20 (St. Catharines Street) and outlets to Twenty Mile Creek.

3.3 Skyway Road Storm Sewer

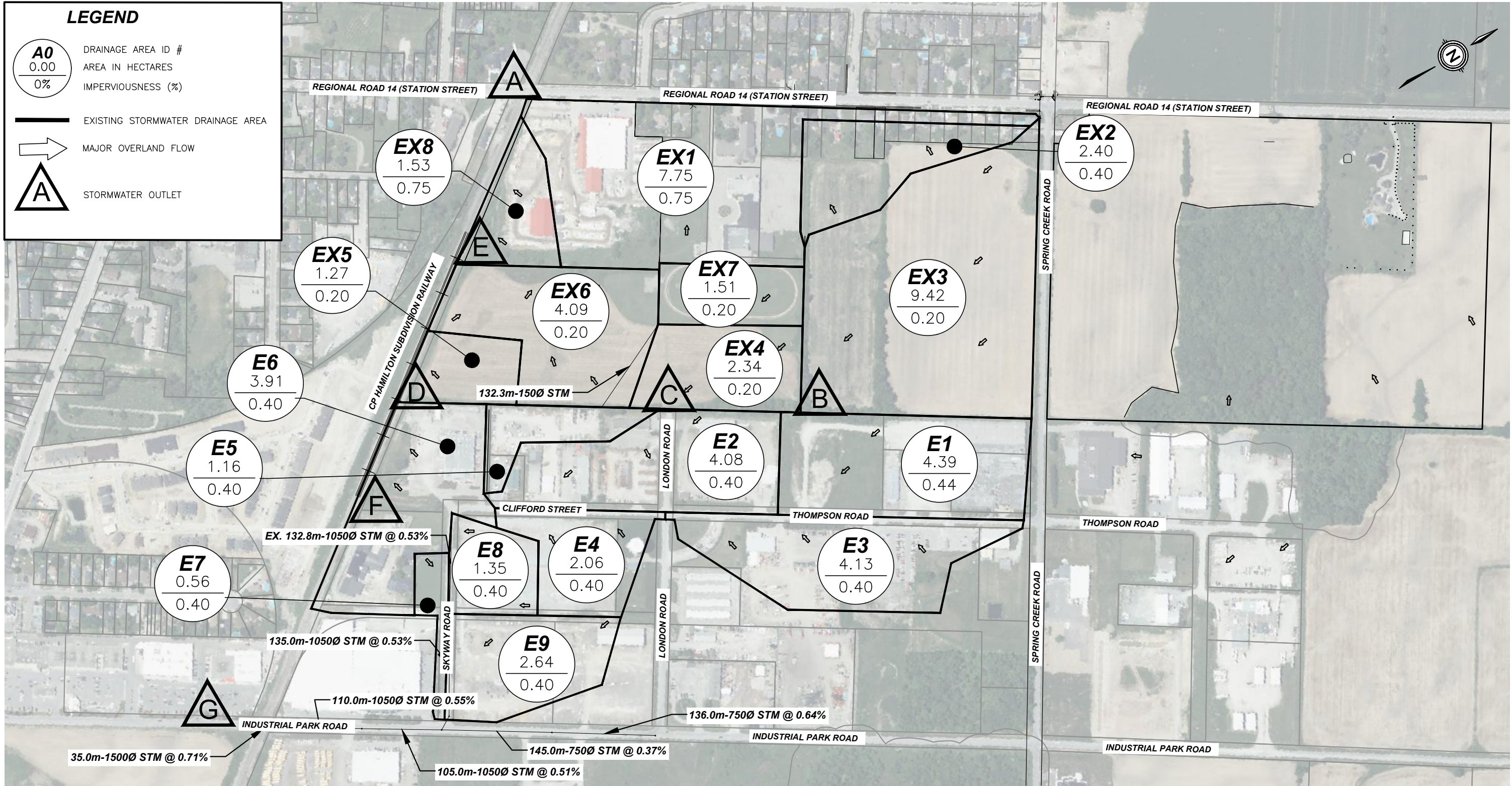
There is an existing 1050mm diameter storm sewer that was built on Skyway Road in 2008. The storm sewer system flows easterly and outlets to the storm sewer on Industrial Park Road which flows southerly to Regional Road 20 (St. Catharines Street) and outlets to Twenty Mile Creek. As shown in Figure 2, drainage areas E1 to E5 and E7 to E9 represent external drainage areas around the subject lands that outlet to the Skyway Road Storm Sewer. The Skyway Road storm sewer system was analysed under existing conditions to determine the capacity of the system, and has been included in Appendix A. The analysis indicates that each property is controlling storm water runoff to an equivalent runoff coefficient of 0.40 excluding drainage area E1 which combined with drainage area EX3 controls to an equivalent runoff coefficient of 0.32.

Currently, 3 drainage areas within the subject lands outlet to the storm sewer on Skyway Road (EX3, EX4 and EX7). Drainage Area EX3 outlets to Stanpac's SWM facility through Drainage Area E1 to the road side ditch on Thompson Road that is flowing southerly and outlets to the Skyway Road Storm sewer system through a 900mm diameter culvert. Drainage Area EX4 outlets to Thompson Road and enters the road side ditch and flows to Clifford Street where it enters the Skyway Road storm sewer through a 900mm diameter culvert. Drainage Area EX7 drains through a 150mm pipe to drainage area E5 and flows easterly to the road side ditch on Clifford Street where it outlets to the Skyway Road storm sewer through a 900mm diameter culvert.

As shown in the analysis of the existing Skyway Road storm sewer system in Appendix A, the storm sewers are currently operating at approximately 85% of its total capacity during the 5 year storm event.

3.4 Station Meadows Detention Wetland

Station Meadows Subdivision is a residential development located on the west side of Regional Road 14 (Station Street) immediately west of the subject lands. Included with the development of Station Meadows is an extended detention wetland. Upon review of the Final Engineering Report for Station Meadows prepared by The Odan/Detech Group Inc. the calculated volume of the pond is 8000m³ which corresponds to a maximum extended detention depth of 1.3m. The highest stage reached in the pond is 1.29m during the 100 year design storm event which correlates to a volume of 7997m³. As summarized in Table 3.1 Post Development Conditions in the Final Engineering Report for Station Meadows, the subject lands existing drainage areas have not been included in the design of the wetland. Flows from the subject lands flow southerly on the east side of Regional Road 14 (Station Street) bypassing the wetland and converge with the outflows from the wetland at Outlet A. Therefore, there is no capacity in the wetland to receive flows from the subject lands.



SPRING CREEK LAND SWAP

TOWNSHIP OF WEST LINCOLN

EXISTING STORM DRAINAGE AREAS

DATE	2025-06-04
SCALE	1:5000 m
REF No.	.
DWG No.	FIGURE 2

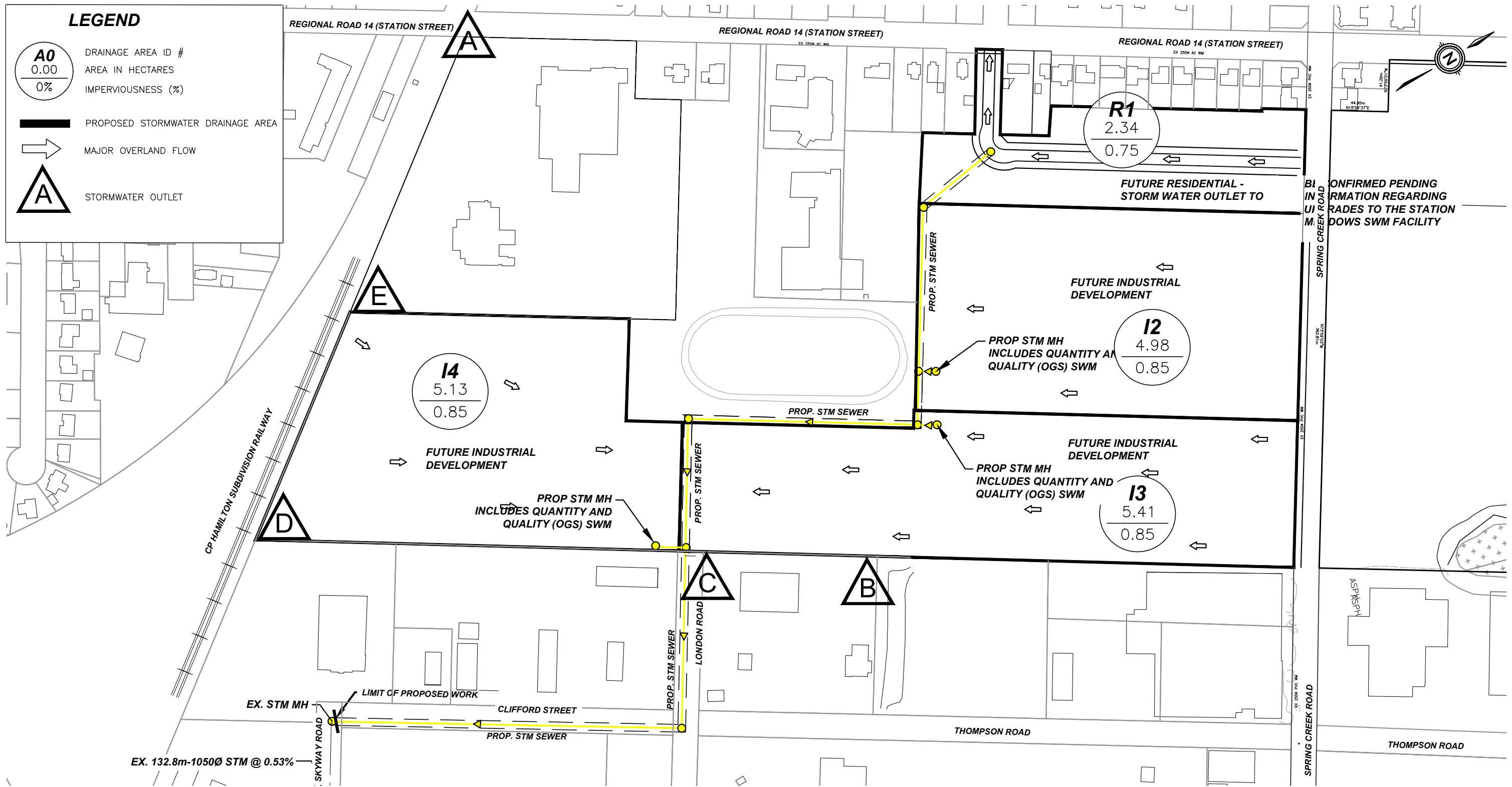
3.5 Proposed Conditions

As shown on Figure 3 – Proposed Stormwater Drainage Areas, the subject lands will be divided into four separate drainage areas that represent each development involved in the land swap. Since, the exact details of each development are not confirmed a runoff coefficient of 0.75 was assigned to the future residential townhouse development Drainage Area R1. A conservatively assumed runoff coefficient of 0.85 was assigned to the industrial developments Drainage Areas I2, I3 and I4 based on the town's requirement for new developments in Zone D to have a minimum of 30% landscape area.

As shown in Figure 3, Drainage Area R1 will direct major overland flows down the proposed roadway to Regional Road 14 (Station Street) to Outlet A. Drainage Areas I2, I3 and I4 will direct major overland flows to the proposed township easement indicated on Figure 3. The township easement will convey all major overland flows from the subject lands to London Road at Outlet C.

It is proposed to extend a storm sewer from the existing manhole at the intersection of Clifford Street and Skyway Road down Clifford Street to the intersection of London Road and Clifford Street. Then west up London Road to the limits of the subject lands where it will extend through a proposed easement within the subject lands to service each development.

Each individual development will have an internal storm sewer system to convey minor storm events and will outlet to the proposed storm sewer extension. It is proposed to have each development provide quantity and quality controls prior to outletting to the proposed storm sewer extension in accordance with the criteria outlined in this report.



SPRING CREEK LAND SWAP

TOWNSHIP OF WEST LINCOLN

FUTURE STORM DRAINAGE AREAS

DATE	2025-06-04
SCALE	1:5000 m
REF No.	.
DWG No.	FIGURE 3

4.0 STORMWATER MANAGEMENT PLAN

4.1 Quantity Assessment

For the purpose of this submission an approximate allowable outflow and required stormwater storage will be determined for each development using Modified Rational Method, but the exact means in which quantity controls will be provided will be determined during draft plan approval. In order to ensure that the proposed developments do not exceed the capacity of the downstream sewer system, it will be the requirement of the proposed developments to control the 5 year design event to existing conditions. Table 1 below outlines the existing flows and proposed flows from the subject lands that outlet to the Skyway Road storm sewer.

Table 2. Peak Stormwater Flows to Skyway Road Storm Sewer System During 5 Year Design Storm Event		
Existing Peak Flow (L/s) (Includes EX3, EX4 and EX7)	Future Uncontrolled Peak Flow (L/s) (Includes R1, I2, I3 and I4)	Total Required Stormwater Storage (m³) to Control Future Peak Flows to Existing
826.0	4,214.6	3,723.0

As shown in Table 2 the future peak flows that will outlet to the Skyway Road storm sewer are significantly greater than the existing flows. Therefore, quantity controls are required to ensure that peak stormwater flows do not exceed the capacity of the downstream sewer system. A more detailed breakdown of the modified rational method has been included in Appendix B. As stated previously, an approximate allowable outflow and required stormwater storage will be determined for each development involved in the land swap but the exact means in which quantity controls will be provided will be determined in a separate report that shall be submitted with each individual development. It will be required to restrict peak flows from the proposed developments such that the combined peak flow that outlet to the Skyway Road Storm Sewer from the subject lands is equal to 826.0 L/s and the required storage to restrict peak flows to existing levels is 3,723.0 m³.

In order to determine the allowable flow that each development can outlet to the proposed storm sewer system a percent allocation was assigned to each development based on the developments total area multiplied by its runoff coefficient. Table 2 below outlines the allowable flows that can outlet to the proposed storm sewer based on the percent allocation assigned to each development.

Table 3. Allowable Flows to Proposed Storm Sewer System from each Development				
Area ID	R1	I2	I3	I4
Area (Ha)	2.34	4.98	5.41	5.13
Runoff Coefficient	0.75	0.85	0.85	0.85
% Allocation	11.74%	28.32%	30.77%	29.17%
Allowable Flow (L/s)	97.0	233.9	254.1	241.0
Minimum Required Storage (m ³)	437.1	1,054.4	1,145.4	1,086.1

Therefore, as shown in Table 3 above each development has been assigned an allowable peak flow that can outlet to the proposed storm sewer system and an estimated minimum required storage based on its allowable outflow. The combination of all the developments peak flows equals the total allowable peak flow that the subject lands can outlet to the proposed storm sewer system. The exact volume required to achieve the allowable outflow for each development will be confirmed during the design of any SWM facilities.

Included in Appendix B, is the future storm sewer design sheet where the proposed storm sewer that will extend within the subject lands has been sized, based on the allowable flows allocated to each development.

Since, quantity controls are being provided for the 5 year design storm, the peak 100 year design storm flows will also be reduced. Summarized in Table 3 below is summary of the existing peak flows and the future peak flows with the minimum required storm water management from the subject lands and surrounding areas to each outlet identified on Figure 2 and 3 during the 100 year design storm event.

Table 4. 100 Year Peak Flow Comparison			
Outlet	Existing Peak Flows (L/s)	Future Peak Flows with SWM (L/s)	Percent Change
A	4,149.0	4,893.2	17.9%
B	894.6	0	-100%
C	365.6	5,535.9	1,449.9%
D	120.6	0	-100%
E	388.4	0	-100%
F	863.2	742.6	-14.0%
G	5,499.1	9,238.0	68.0%

As summarized in Table 4 above, it is proposed to redirect flow from the existing SWM facility owned by Stanpac (outlet B), and the Railway Lands (Outlets D, E and F). Major overland flows from Drainage Area R1 will be directed to Regional Road 14 (Station Street) increasing the flows at Outlet A by 17.9%. Major Overland Flows from Drainage Areas I2, I3 and I4 will be directed through the proposed easement to London Road at Outlet C, this will increase the major overland flows at Outlet C by 1,449.9%. The flows from the subject lands that outlet to Outlet C will combine with the external drainage areas outlined in Figure 3, on Thompson Street, Clifford Street, and Skyway Road and outlet to Industrial Park Road (Outlet G) and will increase major overland flows by 68.0%

4.2 Quality Assessment

A separate report will be submitted for each individual development, that will specify how the proposed development will provide quality controls. It is recommended that each development install an oil/grit separator prior to the outlet to the proposed storm sewer.

5.0 SEDIMENT AND EROSION CONTROL

Sediment and erosion controls are required during all construction phases of each development to limit the transport of sediment into the Twenty Mile Creek.

The following additional erosion and sediment controls will also be implemented during construction:

- Install silt control fencing along the limits of construction where overland flows will flow beyond the limits of the development or into downstream watercourse.
- Re-vegetate disturbed areas as soon as possible after grading works have been completed.
- Lot grading and siltation controls plans will be provided with sediment and erosion control measures to the appropriate agencies for approval during the final design stage.

6.0 CONCLUSIONS AND RECOMMENDATIONS

Therefore, based on the above comments and design calculations provided for this site, the following summarizes the servicing for this site.

1. That the stormwater management criteria established in this report be accepted.
2. Each individual development involved in the land swap, must provide quantity controls for the 5 year storm event, such that the combined flow entering the Skyway Road storm sewers do not exceed the capacity of the storm sewers.
3. Quantity controls are not required for the major storm events due to the location of the subject lands within the overall watershed for Twenty Mile Creek. Therefore, detaining future peak stormwater flows on site will delay the stormwater peak from the site to match with the greater stormwater peak of from the upstream lands within the Twenty Mile Creek watershed.
4. Each development is required to provide stormwater quality controls to Enhanced Protection Levels (80% TSS removal) in accordance with MECP guidelines prior to outletting to Twenty Mile Creek.
5. That the sediment and erosion control during construction as described in this report be implemented.

Prepared By:



Zach Barber, E.I.T.
April 4, 2025

Reviewed By:



Jason Schooley, P.Eng.

APPENDICES

APPENDIX A
Existing Storm Sewer Analysis

UPPER CANADA CONSULTANTS
3-30 HANNOVER DRIVE
ST. CATHARINES, ONTARIO, L2W 1A3

RAINFALL PARAMETERS:
5 YEAR DESIGN STORM EVENT
TOWNSHIP OF WEST LINCOLN

A = 1039.2
B = 7.0
C = 0.821

SEWER DESIGN:
PIPE ROUGHNESS: 0.013 FOR MANNING'S EQUATION
PIPE SIZES: 1.016 ACTUAL DIAMETER SIZE FACTOR
PERCENT FULL: TOTAL PEAK FLOW / CAPACITY

MUNICIPALITY: TOWNSHIP OF WEST LINCOLN
PROJECT NAME: SPRING CREEK HEIGHTS LAND SWAP
PROJECT NO.: 23171

EXISTING STORM SEWER DESIGN SHEET

LOCATION			STORMWATER ANALYSIS								STORM SEWER DESIGN					
DESCRIPTION	From	To	Area (A) (hectares)	Runoff Coeff. (R)	A*R	Accumulated A*R	Time of Concentration (min)	Flow Time (min.)	Rainfall Intensity (mm/hr)	Peak Flow (L/s)	Length (m)	Nominal Diameter (mm.)	Slope (%)	Full Flow Capacity (L/s)	Full Flow Velocity (m/s)	Percent Full
E1 + EX3	THOMPSON ROAD		13.81	0.32	4.419	4.419										
EX4	LONDON ROAD		2.34	0.20	0.468	0.468										
E2	LONDON ROAD		4.08	0.40	1.632	6.519										
E3	THOMPSON ROAD		4.13	0.40	1.652	1.652										
E4	CLIFFORD STREET		2.06	0.40	0.824	0.824										
EX7	THROUGH EX4 TO CLIFFORD STREET		1.51	0.20	0.302	0.302										
E5	CLIFFORD STREET		1.16	0.40	0.464	0.464										
Time of Concentration = 15 + (750 m) / (1 m/s) / (60 sec/min)																
E8 (SKYWAY ROAD)	EX MH 1	EX MH 2	1.35	0.40	0.540	10.301	27.50	0.96	56.8	1624.6	133.0	1050	0.53	2074.0	2.3	78.3%
E9 (SKYWAY ROAD)	EX MH 2	EX MH 3	2.64	0.40	1.056	11.357	28.46	0.97	55.5	1751.4	135.0	1050	0.53	2074.0	2.3	84.4%
E7 (SKYWAY ROAD)	EX MH 3	EX MH 6	0.56	0.40	0.224	11.581	29.43	0.17	54.3	1746.8	24.0	1050	0.53	2074.0	2.3	84.2%

APPENDIX B

**Modified Rational Method – 5 year
Future Storm Sewer Design Sheet**

PEAK STORMWATER FLOWS - 5 YEAR STORM

PROJECT: SPRING CREEK HEIGHTS LAND SWAPE

LOCATION						TIME OF FLOW		STORMWATER ANALYSIS				
DESCRIPTION	FROM M.H.	TO M.H.	PIPE LENGTH (m)	INCREMENT AREA (hectares)	TOTAL AREA (hectares)	TO UPPER END (min)	IN SECTION (min)	RUNOFF COEFF	SECTION A X R	ACCUMLD A x R	RAINFALL INTENSITY (mm/hr)	PEAK FLOW (L/s)
EXISTING CONDITIONS												
SKYWAY ROAD STM SEWER												
EX3	SITE	OUTLET		9.42	9.42	20.00	0.00	0.320	3.014	3.014	69.430	581.4
EX7	SITE	OUTLET		1.51	1.51	15.00	0.00	0.200	0.302	0.302	82.143	68.9
EX4	SITE	OUTLET		2.34	2.34	15.00	0.00	0.200	0.468	0.770	82.143	175.7
ALLOWABLE PEAK OUTFLOW TO SKYWAY ROAD STORM SEWER												826.0
FUTURE CONDITIONS												
R1	SITE	OUTLET		2.34	2.34	10.00	0.00	0.750	1.755	1.755	101.508	494.9
I2	SITE	OUTLET		4.98	4.98	10.00	0.00	0.850	4.233	4.233	101.508	1193.6
I3	SITE	OUTLET		5.13	5.13	10.00	0.00	0.850	4.361	4.361	101.508	1229.5
I4	SITE	OUTLET		5.41	5.41	10.00	0.00	0.850	4.599	4.599	101.508	1296.6
PEAK OUTFLOW FROM SUBJECT LANDS TO SKYWAY ROAD STORM SEWER												4214.6
DESIGN BY:		UPPER CANADA CONSULTANTS				RAINFALL PARAMETERS:				a = 1039.20 mm/hr		
		30 HANNOVER DRIVE, UNIT 3				Time to Upper End = 10 min.				b = 7.00 minutes		
		ST. CATHARINES, ON L2W 1A3				Town of West Lincoln - 5 Year IDF Curve				c = 0.82		
DESIGN BY:		Z. BARBER E.I.T.										
DATE:		FEBRUARY 2025										

Modified Rational Method (MRM) Required Storage Volume

Project: SPRING CREEK LANDSWAP, WEST LINCOLN
 Project No: 23171
 Date: MARCH 2025
 Design By: Z. Barber, E.I.T.
 Description: STORMWATER MANAGEMENT PLAN

Storm Event: **Town of West Lincoln - 5 Year IDF Curve**

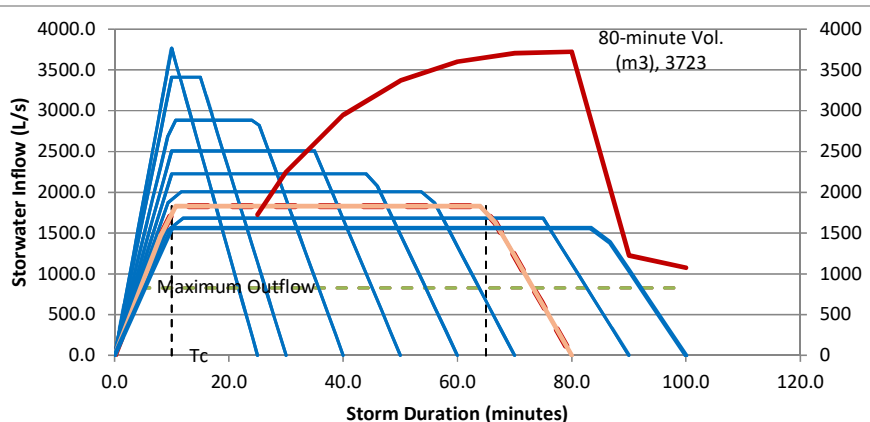
a = 1039.20 mm/hr
 b = 7.00 minutes
 c = 0.82

Critical Storm Duration: 80.00 minutes Tail Multiplier (x1-11.5)
 Tc From Design: 10.00 minutes
 Storm Tail Time: 65.00 minutes
 Accumulated Area x R (Ha): 14.947 <-- Area x Runoff Coefficient (Sewer Design Sheet)
 Peak Rainfall Intensity: 44.05 mm/hr
 Peak Inflow at Tc: 1828.77 L/s
 Maximum Release Rate: 825.97 <-- Outlet Full Flow Capacity (Design Sheet)
 Time When Outlet Exceeded: 4.52

Time (min)	Intensity (mm/hr)	Inflow (L/s)	Outflow (L/s)	Interval Volume (m3)	Total Required Volume (m3)
0.0	0.00	0.00	825.97	-49.6	0.0
2.7	11.75	487.67	825.97	-54.1	0.0
5.3	23.49	975.34	825.97	23.9	23.9
8.0	35.24	1463.01	825.97	101.9	125.8
10.7	44.05	1828.77	825.97	160.4	286.3
13.3	44.05	1828.77	825.97	160.4	446.7
16.0	44.05	1828.77	825.97	160.4	607.2
18.7	44.05	1828.77	825.97	160.4	767.6
21.3	44.05	1828.77	825.97	160.4	928.1
24.0	44.05	1828.77	825.97	160.4	1088.5
26.7	44.05	1828.77	825.97	160.4	1249.0
29.3	44.05	1828.77	825.97	160.4	1409.4
32.0	44.05	1828.77	825.97	160.4	1569.9
34.7	44.05	1828.77	825.97	160.4	1730.3
37.3	44.05	1828.77	825.97	160.4	1890.8
40.0	44.05	1828.77	825.97	160.4	2051.2
42.7	44.05	1828.77	825.97	160.4	2211.7
45.3	44.05	1828.77	825.97	160.4	2372.1
48.0	44.05	1828.77	825.97	160.4	2532.5
50.7	44.05	1828.77	825.97	160.4	2693.0
53.3	44.05	1828.77	825.97	160.4	2853.4
56.0	44.05	1828.77	825.97	160.4	3013.9
58.7	44.05	1828.77	825.97	160.4	3174.3
61.3	44.05	1828.77	825.97	160.4	3334.8
64.0	44.05	1828.77	825.97	160.4	3495.2
66.7	39.15	1625.57	825.97	127.9	3623.2
69.3	31.32	1300.46	825.97	75.9	3699.1
72.0	23.49	975.34	825.97	23.9	3723.0
74.7	15.66	650.23	825.97	-28.1	3694.9
77.3	7.83	325.11	825.97	-80.1	3614.7
80.0	0.00	0.00	825.97	-132.2	3482.6

Variable Storm Duration Storage Requirements

Duration	Max Storage	Duration	Max Storage	Duration	Max Storage
25 Min	1723.2 m3	50 Min	3368.8 m3	80 Min	3723.0 m3
30 Min	2248.4 m3	60 Min	3601.4 m3	90 Min	1226.1 m3
40 Min	2949.6 m3	70 Min	3704.5 m3	100 Min	1073.7 m3



UPPER CANADA CONSULTANTS 3-30 HANNOVER DRIVE ST. CATHARINES, ONTARIO, L2W 1A3																
RAINFALL PARAMETERS: 5 YEAR DESIGN STORM EVENT TOWNSHIP OF WEST LINCOLN			A = 1039.2 B = 7.0 C = 0.821			SEWER DESIGN: PIPE ROUGHNESS: 0.013 FOR MANNING'S EQUATION PIPE SIZES: 1.016 ACTUAL DIAMETER SIZE FACTOR PERCENT FULL: TOTAL PEAK FLOW / CAPACITY										
MUNICIPALITY: TOWNSHIP OF WEST LINCOLN PROJECT NAME: SPRING CREEK HEIGHTS LAND SWAP PROJECT NO.: 23171			FUTURE STORM SEWER DESIGN SHEET													
LOCATION			STORMWATER ANALYSIS								STORM SEWER DESIGN					
DESCRIPTION	From	To	Area (A) (hectares)	Runoff Coeff. (R)	A*R	Accumulated A*R	Time of Concentration (min)	Flow Time (min.)	Rainfall Intensity (mm/hr)	Peak Flow (L/s)	Length (m)	Nominal Diameter (mm.)	Slope (%)	Full Flow Capacity (L/s)	Full Flow Velocity (m/s)	Percent Full
PEAK ALLOWABLE 5 YEAR FLOW DISCHARGING FROM SWM FACILITY = 97.0 L/s																
R1	INTERNAL STM SEWER	MH 1					10.00	5.14		97.0	250.0	450	0.20	133.0	0.8	72.9%
	MH 1	MH 2					15.14	1.58		97.0	77.0	450	0.20	133.0	0.8	72.9%
	MH 2	MH 3					16.73	2.53		97.0	123.0	450	0.20	133.0	0.8	72.9%
PEAK ALLOWABLE 5 YEAR FLOW DISCHARGING FROM SWM FACILITY = 233.0 L/s																
I2	INTERNAL STM SEWER	MH 3					10.00	5.81		330.0	370.0	675	0.20	392.2	1.1	84.1%
	MH 3	MH 4					19.26	0.71		330.0	45.0	675	0.20	392.2	1.1	84.1%
PEAK ALLOWABLE 5 YEAR FLOW DISCHARGING FROM SWM FACILITY = 254.0 L/s																
I3	INTERNAL STM SEWER	MH 4					10.00	3.43		584.0	250.0	825	0.20	669.7	1.2	87.2%
	MH 4	MH 5					19.96	2.50		584.0	182.0	825	0.20	669.7	1.2	87.2%
	MH 5	MH 6					22.46	1.41		584.0	103.0	825	0.20	669.7	1.2	87.2%
PEAK ALLOWABLE 5 YEAR FLOW DISCHARGING FROM SWM FACILITY = 241 L/s																
I4	INTERNAL STM SEWER	MH 6					10.00	4.61		825.0	375.0	975	0.20	1045.6	1.4	78.9%
	MH 6	MH 7					23.88	1.76		825.0	143.0	975	0.20	1045.6	1.4	78.9%
	MH 7	EX MH 1					25.63	3.39		825.0	276.0	975	0.20	1045.6	1.4	78.9%
E1	THOMPSON ROAD		4.39	0.32	1.405	1.405										
E2	LONDON ROAD		4.08	0.40	1.632	1.632										
E3	THOMPSON ROAD		4.13	0.40	1.652	1.652										
E4	CLIFFORD STREET		2.06	0.40	0.824	0.824										
E5	CLIFFORD STREET		1.16	0.40	0.464	0.464										
Time of Concentration = 15 + (750 m) / (1 m/s) / (60 sec/min)																
E8 (SKYWAY ROAD)	EX MH 1	EX MH 2	1.35	0.40	0.540	6.517	29.02	0.96	54.8	1816.9	133.0	1050	0.53	2074.0	2.3	87.6%
E9 (SKYWAY ROAD)	EX MH 2	EX MH 3	2.64	0.40	1.056	7.573	29.98	0.97	53.6	1953.1	135.0	1050	0.53	2074.0	2.3	94.2%
E7 (SKYWAY ROAD)	EX MH 3	EX MH 6	0.56	0.40	0.224	7.797	30.95	0.17	52.5	1962.1	24.0	1050	0.53	2074.0	2.3	94.6%

APPENDIX C
100 Year Storm Analysis

PEAK 100 YEAR STORMWATER FLOWS

PROJECT: SPRING CREEK HEIGHTS LAND SWAPE

LOCATION						TIME OF FLOW		STORMWATER ANALYSIS				
DESCRIPTION	FROM M.H.	TO M.H.	PIPE LENGTH (m)	INCREMENT AREA (hectares)	TOTAL AREA (hectares)	TO UPPER END (min)	IN SECTION (min)	RUNOFF COEFF	SECTION A X R	ACCUMLD A x R	RAINFALL INTENSITY (mm/hr)	PEAK FLOW (L/s)
EXISTING CONDITIONS												
Outlet A												
EX2	SITE	OUTLET		2.40	2.40	10.00	0.00	0.400	0.960	0.960	170.937	455.8
EX6	SITE	OUTLET		4.09	4.09	10.00	0.00	0.200	0.818	0.818	170.937	388.4
EX8	SITE	OUTLET		1.53	1.53	10.00	0.00	0.750	1.148	1.148	170.937	544.9
EX1	SITE	OUTLET		7.75	7.75	10.00	0.00	0.750	5.813	5.813	170.937	2759.9
TOTAL PEAK FLOW AT OUTLET A												4149.0
Outlet B												
EX3	SITE	OUTLET		9.42	9.42	10.00	0.00	0.200	1.884	1.884	170.937	894.6
TOTAL PEAK FLOW AT OUTLET B												894.6
Outlet C												
EX7	SITE	OUTLET		1.51	1.51	10.00	0.00	0.200	0.302	0.302	170.937	143.4
EX4	SITE	OUTLET		2.34	2.34	10.00	0.00	0.200	0.468	0.468	170.937	222.2
TOTAL PEAK FLOW AT OUTLET C												365.6
Outlet D												
EX5	SITE	OUTLET		1.27	1.27	10.00	0.00	0.200	0.254	0.254	170.937	120.6
TOTAL PEAK FLOW AT OUTLET D												120.6
Outlet E												
EX6	SITE	OUTLET		4.09	4.09	10.00	0.00	0.200	0.818	0.818	170.937	388.4
TOTAL PEAK FLOW AT OUTLET E												388.4
Outlet F												
EX5	SITE	OUTLET		1.27	1.27	10.00	0.00	0.200	0.254	0.254	170.937	120.6
E6	SITE	OUTLET		3.91	3.91	10.00	0.00	0.400	1.564	1.564	170.937	742.6
TOTAL PEAK FLOW AT OUTLET F												863.2

PEAK 100 YEAR STORMWATER FLOWS

PROJECT: SPRING CREEK HEIGHTS LAND SWAPE

LOCATION						TIME OF FLOW		STORMWATER ANALYSIS				
DESCRIPTION	FROM M.H.	TO M.H.	PIPE LENGTH (m)	INCREMENT AREA (hectares)	TOTAL AREA (hectares)	TO UPPER END (min)	IN SECTION (min)	RUNOFF COEFF	SECTION A X R	ACCUMLD A x R	RAINFALL INTENSITY (mm/hr)	PEAK FLOW (L/s)
Outlet G												
EX3+E1	SITE	OUTLET		13.81	13.81	10.00	0.00	0.320	4.419	4.419	170.937	2098.4
EX7	SITE	OUTLET		1.51	1.51	10.00	0.00	0.200	0.302	0.302	170.937	143.4
EX4	SITE	OUTLET		2.34	2.34	10.00	0.00	0.200	0.468	0.468	170.937	222.2
E2	SITE	OUTLET		4.08	4.08	10.00	0.00	0.400	1.632	1.632	170.937	774.9
E3	SITE	OUTLET		4.13	4.13	10.00	0.00	0.400	1.652	1.652	170.937	784.4
E4	SITE	OUTLET		2.06	2.06	10.00	0.00	0.400	0.824	0.824	170.937	391.3
E5	SITE	OUTLET		1.16	1.16	10.00	0.00	0.400	0.464	0.464	170.937	220.3
E7	SITE	OUTLET		0.56	0.56	10.00	0.00	0.400	0.224	0.224	170.937	106.4
E8	SITE	OUTLET		1.35	1.35	10.00	0.00	0.400	0.540	0.540	170.937	256.4
E9	SITE	OUTLET		2.64	2.64	10.00	0.00	0.400	1.056	1.056	170.937	501.4
TOTAL PEAK FLOW AT OUTLET G												5499.1
FUTURE CONDITIONS WITHOUT SWM												
Outlet A												
R1 (Uncontrolled)	SITE	OUTLET		2.34	2.34	10.00	0.00	0.750	1.755	1.755	170.937	833.3
EX1	SITE	OUTLET		11.07	11.07	10.00	0.00	0.750	8.303	8.303	170.937	3942.2
EX2	SITE	OUTLET		1.13	1.13	10.00	0.00	0.400	0.452	0.452	170.937	214.6
TOTAL PEAK FLOW AT OUTLET A												4990.2
Outlet C												
I2 (Uncontrolled)	SITE	OUTLET		4.98	4.98	10.00	0.00	0.850	4.233	4.233	170.937	2009.9
I3 (Uncontrolled)	SITE	OUTLET		5.41	5.41	10.00	0.00	0.850	4.599	4.599	170.937	2183.5
I4 (Uncontrolled)	SITE	OUTLET		5.13	5.13	10.00	0.00	0.850	4.361	4.361	170.937	2070.5
TOTAL PEAK FLOW AT OUTLET C												6263.9
Outlet F												
E6	SITE	OUTLET		3.91	3.91	10.00	0.00	0.400	1.564	1.564	170.937	742.6

PEAK 100 YEAR STORMWATER FLOWS

PROJECT: SPRING CREEK HEIGHTS LAND SWAPE

LOCATION						TIME OF FLOW		STORMWATER ANALYSIS				
DESCRIPTION	FROM M.H.	TO M.H.	PIPE LENGTH (m)	INCREMENT AREA (hectares)	TOTAL AREA (hectares)	TO UPPER END (min)	IN SECTION (min)	RUNOFF COEFF	SECTION A X R	ACCUMLD A x R	RAINFALL INTENSITY (mm/hr)	PEAK FLOW (L/s)
TOTAL PEAK FLOW AT OUTLET F												742.6
Outlet G												
E1	SITE	OUTLET		4.39	4.39	10.00	0.00	0.320	1.405	1.405	170.937	667.0
I2 (Uncontrolled)	SITE	OUTLET		4.98	4.98	10.00	0.00	0.850	4.233	4.233	170.937	2009.9
I3 (Uncontrolled)	SITE	OUTLET		5.41	5.41	10.00	0.00	0.850	4.599	4.599	170.937	2183.5
I4 (Uncontrolled)	SITE	OUTLET		5.13	5.13	10.00	0.00	0.850	4.361	4.361	170.937	2070.5
E2	SITE	OUTLET		4.08	4.08	10.00	0.00	0.400	1.632	1.632	170.937	774.9
E3	SITE	OUTLET		4.13	4.13	10.00	0.00	0.400	1.652	1.652	170.937	784.4
E4	SITE	OUTLET		2.06	2.06	10.00	0.00	0.400	0.824	0.824	170.937	391.3
E5	SITE	OUTLET		1.16	1.16	10.00	0.00	0.400	0.464	0.464	170.937	220.3
E7	SITE	OUTLET		0.56	0.56	10.00	0.00	0.400	0.224	0.224	170.937	106.4
E8	SITE	OUTLET		1.35	1.35	10.00	0.00	0.400	0.540	0.540	170.937	256.4
E9	SITE	OUTLET		2.64	2.64	10.00	0.00	0.400	1.056	1.056	170.937	501.4
TOTAL PEAK FLOW AT OUTLET G												9966.0
FUTURE CONDITIONS WITH SWM												
Outlet A												
R1 (Controlled)	SITE	OUTLET		2.34	2.34	10.00	0.00	0.750	1.755	1.755	170.937	736.3
EX1	SITE	OUTLET		11.07	11.07	10.00	0.00	0.750	8.303	8.303	170.937	3942.2
EX2	SITE	OUTLET		1.13	1.13	10.00	0.00	0.400	0.452	0.452	170.937	214.6
TOTAL PEAK FLOW AT OUTLET A												4893.2
Outlet C												
I2 (Controlled)	SITE	OUTLET		4.98	4.98	10.00	0.00	0.850	4.233	4.233	170.937	1776.9
I3 (Controlled)	SITE	OUTLET		5.41	5.41	10.00	0.00	0.850	4.599	4.599	170.937	1929.5

PEAK 100 YEAR STORMWATER FLOWS

PROJECT: SPRING CREEK HEIGHTS LAND SWAPE

LOCATION						TIME OF FLOW		STORMWATER ANALYSIS				
DESCRIPTION	FROM M.H.	TO M.H.	PIPE LENGTH (m)	INCREMENT AREA (hectares)	TOTAL AREA (hectares)	TO UPPER END (min)	IN SECTION (min)	RUNOFF COEFF	SECTION A X R	ACCUMLD A x R	RAINFALL INTENSITY (mm/hr)	PEAK FLOW (L/s)
I4 (Controlled)	SITE	OUTLET		5.13	5.13	10.00	0.00	0.850	4.361	4.361	170.937	1829.5
TOTAL PEAK FLOW AT OUTLET C												5535.9
Outlet F												
E6	SITE	OUTLET		3.91	3.91	10.00	0.00	0.400	1.564	1.564	170.937	742.6
TOTAL PEAK FLOW AT OUTLET F												742.6
Outlet G												
E1	SITE	OUTLET		4.39	4.39	10.00	0.00	0.320	1.405	1.405	170.937	667.0
I2 (Controlled)	SITE	OUTLET		4.98	4.98	10.00	0.00	0.850	4.233	4.233	170.937	1776.9
I3 (Controlled)	SITE	OUTLET		5.41	5.41	10.00	0.00	0.850	4.599	4.599	170.937	1929.5
I4 (Controlled)	SITE	OUTLET		5.13	5.13	10.00	0.00	0.850	4.361	4.361	170.937	1829.5
E2	SITE	OUTLET		4.08	4.08	10.00	0.00	0.400	1.632	1.632	170.937	774.9
E3	SITE	OUTLET		4.13	4.13	10.00	0.00	0.400	1.652	1.652	170.937	784.4
E4	SITE	OUTLET		2.06	2.06	10.00	0.00	0.400	0.824	0.824	170.937	391.3
E5	SITE	OUTLET		1.16	1.16	10.00	0.00	0.400	0.464	0.464	170.937	220.3
E7	SITE	OUTLET		0.56	0.56	10.00	0.00	0.400	0.224	0.224	170.937	106.4
E8	SITE	OUTLET		1.35	1.35	10.00	0.00	0.400	0.540	0.540	170.937	256.4
E9	SITE	OUTLET		2.64	2.64	10.00	0.00	0.400	1.056	1.056	170.937	501.4
TOTAL PEAK FLOW AT OUTLET G												9238.0
DESIGN BY: UPPER CANADA CONSULTANTS												
30 HANNOVER DRIVE, UNIT 3												
ST. CATHARINES, ON L2W 1A3												
DESIGN BY: Z. BARBER E.I.T.												
DATE: FEBRUARY 2025												
RAINFALL PARAMETERS:												
Time to Upper End = 10 min.										a = 2138.00	mm/hr	
Township of West Lincoln - 100 Year IDF C										b = 9.00	minutes	
										c = 0.86		



Memo

To: Stephanie Pouliot, Planner I
From: Jennifer Bernard, Manager, Civil Land Development
Date: June 19, 2025
Re: File B02/2025WL – 1000581360 Ontario Inc.
Spring Creek Road (Roll: 2602030013204000000)

A review has been completed of this application for consent to permit a boundary adjustment where Part 3 on survey sketch 15-16-105-06 will be severed and added to Part 2.

A pre-consultation meeting was held on April 23, 2025 to review the overall layout of the Spring Creek Heights Secondary Plan area that will result from this application in conjunction with B03/2025WL and B04/2025WL. At that time staff provided the attached comments on future servicing of the lands. Further stormwater management information was provided on June 5, 2025, however there is uncertainty for the stormwater connection for the future residential parcel in Part 4 of the survey sketch 15-16-105-06. Therefore, staff request the following be added as a condition of consent until that has been addressed:

That a stormwater management plan be submitted and approved by the Township regarding the Stormwater management of the subject lands.

It is understood that Part 6 and Part 7 on survey sketch 15-16-105-06 will be a private stormwater easement.

Memo

To: Susan Smyth, Manager, Community Planning & Design
From: Jennifer Bernard, Manager, Civil Land Development
Date: May 7, 2025
Re: 346 Station St
Pre-consultation Meeting April 23, 2025

A review has been completed of this proposal for consent and boundary adjustment to facilitate a land swap in the Spring Creek Heights Secondary Plan area.

Regarding the Proposed Servicing Layout:

- Staff will not support the proposal for storm sewers to be located in an easement through the industrial lands to be assumed by the Township due to the future cost and complexity of access for maintenance and repair. Sewers for assumption by the Township are to be located within a road allowance.
- The storm sewer for the residential lands is to be directed west to either the Station St storm sewer system or to the Station Meadows Subdivision storm sewer which outlets to the Hornak Rd stormwater management pond.
- The industrial lands may be able to have on site stormwater retention or can maintain the proposed storm sewer in the easement but that would remain private and under an agreement between the property owners for maintenance and repair.
- If the stormwater management solution identified for the industrial properties requires the storm sewers proposed on London Road and Clifford St, the Township will assume those sewers but they will need to be sized to accommodate road drainage when those roads are reconstructed and urbanized in the future.
- A portion of these lands are assessed to the Smithville North Municipal Drain. If the drainage pattern is altered, the Owner will be responsible for the cost to reassess the properties to the municipal drain. As of the date of this memo, a copy of the Engineering Report for this municipal drain has been provided to Upper Canada Consultants.
- Staff notes that the sanitary sewer proposed on Spring Creek Road is within 500m of the Smithville PCB site. This sewer would need to be above the bedrock to be considered for approval by the MECP. They may also require a groundwater monitoring program during construction. This applies to the storm sewers on London Road and Clifford Street as well.
- Staff have no concerns with the proposal for water servicing of the lands. At the Site Plan stage, based on water demand, it will be determined if further water modelling is required to confirm capacity.

Memo

To: Stephanie Pouliot, Planner I
From: Jennifer Bernard, Manager, Civil Land Development
Date: June 19, 2025
Re: File B03/2025WL – Melissa Hill Inc.
346 Station St (Roll: 2602030013072000000)

A review has been completed of this application for consent to permit a boundary adjustment where Part 1 on survey sketch 15-16-105-06 will be severed and added to Part 4.

A pre-consultation meeting was held on April 23, 2025 to review the overall layout of the Spring Creek Heights Secondary Plan area that will result from this application in conjunction with B02/2025WL and B04/2025WL. At that time staff provided the attached comments on future servicing of the lands. Further stormwater management information was provided on June 5, 2025, however there is uncertainty for the stormwater connection for the future residential parcel in Part 4 of the survey sketch 15-16-105-06. Therefore, staff request the following be added as a condition of consent until that has been addressed:

That a stormwater management plan be submitted and approved by the Township regarding the Stormwater management of the subject lands.

It is understood that Part 6 and Part 7 on survey sketch 15-16-105-06 will be a private stormwater easement.

Memo

To: Susan Smyth, Manager, Community Planning & Design
From: Jennifer Bernard, Manager, Civil Land Development
Date: May 7, 2025
Re: 346 Station St
Pre-consultation Meeting April 23, 2025

A review has been completed of this proposal for consent and boundary adjustment to facilitate a land swap in the Spring Creek Heights Secondary Plan area.

Regarding the Proposed Servicing Layout:

- Staff will not support the proposal for storm sewers to be located in an easement through the industrial lands to be assumed by the Township due to the future cost and complexity of access for maintenance and repair. Sewers for assumption by the Township are to be located within a road allowance.
- The storm sewer for the residential lands is to be directed west to either the Station St storm sewer system or to the Station Meadows Subdivision storm sewer which outlets to the Hornak Rd stormwater management pond.
- The industrial lands may be able to have on site stormwater retention or can maintain the proposed storm sewer in the easement but that would remain private and under an agreement between the property owners for maintenance and repair.
- If the stormwater management solution identified for the industrial properties requires the storm sewers proposed on London Road and Clifford St, the Township will assume those sewers but they will need to be sized to accommodate road drainage when those roads are reconstructed and urbanized in the future.
- A portion of these lands are assessed to the Smithville North Municipal Drain. If the drainage pattern is altered, the Owner will be responsible for the cost to reassess the properties to the municipal drain. As of the date of this memo, a copy of the Engineering Report for this municipal drain has been provided to Upper Canada Consultants.
- Staff notes that the sanitary sewer proposed on Spring Creek Road is within 500m of the Smithville PCB site. This sewer would need to be above the bedrock to be considered for approval by the MECP. They may also require a groundwater monitoring program during construction. This applies to the storm sewers on London Road and Clifford Street as well.
- Staff have no concerns with the proposal for water servicing of the lands. At the Site Plan stage, based on water demand, it will be determined if further water modelling is required to confirm capacity.

Memo

To: Stephanie Pouliot, Planner I
From: Jennifer Bernard, Manager, Civil Land Development
Date: June 19, 2025
Re: File B04/2025WL – Canadian Reformed School Society of Smithville and
Surrounding District
Regional Rd 14 (Roll: 2602030013080000000)

A review has been completed of this application for consent to permit a boundary adjustment where Part 1 on survey sketch 15-16-105-07 will be severed from the subject property and retained for future employment uses.

A pre-consultation meeting was held on April 23, 2025 to review the overall layout of the Spring Creek Heights Secondary Plan area that will result from this application in conjunction with B02/2025WL and B03/2025WL. At that time staff provided the attached comments on future servicing of the lands. Further stormwater management information was provided on June 5, 2025, however there is uncertainty for the stormwater connection for the future residential parcel in Part 4 of the survey sketch 15-16-105-06. Therefore, staff request the following be added as a condition of consent until that has been addressed:

That a stormwater management plan be submitted and approved by the Township regarding the Stormwater management of the subject lands.

It is understood that Part 3 and Part 4 on survey sketch 15-16-105-07 will be a private stormwater easement.

Memo

To: Susan Smyth, Manager, Community Planning & Design
From: Jennifer Bernard, Manager, Civil Land Development
Date: May 7, 2025
Re: 346 Station St
Pre-consultation Meeting April 23, 2025

A review has been completed of this proposal for consent and boundary adjustment to facilitate a land swap in the Spring Creek Heights Secondary Plan area.

Regarding the Proposed Servicing Layout:

- Staff will not support the proposal for storm sewers to be located in an easement through the industrial lands to be assumed by the Township due to the future cost and complexity of access for maintenance and repair. Sewers for assumption by the Township are to be located within a road allowance.
- The storm sewer for the residential lands is to be directed west to either the Station St storm sewer system or to the Station Meadows Subdivision storm sewer which outlets to the Hornak Rd stormwater management pond.
- The industrial lands may be able to have on site stormwater retention or can maintain the proposed storm sewer in the easement but that would remain private and under an agreement between the property owners for maintenance and repair.
- If the stormwater management solution identified for the industrial properties requires the storm sewers proposed on London Road and Clifford St, the Township will assume those sewers but they will need to be sized to accommodate road drainage when those roads are reconstructed and urbanized in the future.
- A portion of these lands are assessed to the Smithville North Municipal Drain. If the drainage pattern is altered, the Owner will be responsible for the cost to reassess the properties to the municipal drain. As of the date of this memo, a copy of the Engineering Report for this municipal drain has been provided to Upper Canada Consultants.
- Staff notes that the sanitary sewer proposed on Spring Creek Road is within 500m of the Smithville PCB site. This sewer would need to be above the bedrock to be considered for approval by the MECP. They may also require a groundwater monitoring program during construction. This applies to the storm sewers on London Road and Clifford Street as well.
- Staff have no concerns with the proposal for water servicing of the lands. At the Site Plan stage, based on water demand, it will be determined if further water modelling is required to confirm capacity.

June 15, 2025

Stephanie Pouliot

Planning Department

Township of West Lincoln

RE: Committee of Adjustment Consent Application B03/2025 WL Property Address: 346 Station Street

Attention: Stephanie Pouliot

We live at 342 Station Street and have some comments/questions to the proposed Committee of Adjustment. Please find them as follows;

- How many homes are proposed?
- We are concerned about the style of homes as most of these are 1-2 story single family homes so any new residential buildings should "fit" with the current homes
- Traffic concerns: is this the only road in and out? Station Street is already quite busy so another road in and out to a road other than Station Street should be required
- Concerns regarding our property: will the new road have a sidewalk on our side of the road?
- Are there any set backs from the property lines that are required to put a road in next to an existing property or house?
- Our property and house were never intended to be on a corner lot.
- If a road and residential development does go as proposed, we request that the Township ensure that an 8' sound fence (boards on both sides, no gap between the boards) be installed between my property and the proposed road and along the back of our property
- We request that we be kept up to date with any new developments regarding this property so we can decide if we have any further questions or concerns.

We look forward to attending the meeting on June 25th to gather additional information regarding the application.

Sincerely,

Laura Erin Cook

Allen & Erin Cook

[REDACTED]

[REDACTED]

Stephanie Pouliot

From: John Fraser [REDACTED]
Sent: June 16, 2025 4:36 PM
To: Stephanie Pouliot
Subject: Committee of Adjustment Public Hearing - file B04/2025WL

I would like to respond to the consent application applied for to permit a lot creation where Part 1 on survey sketch 15-16-105-07 will be severed from the subject property and retained for future employment.

My concern as a resident at 353 Station St. is the potential for an increase of both residential and commercial traffic on Station Street (Niagara Regional Rd.14). We have already witnessed a substantial increase in traffic using Station Street over the past few years. Could you please give details of a plan which will provide the necessary infrastructure for future development. As residents we need to know that there is a plan and that funding is in place to ensure development takes place at a reasonable pace.

Thank you in advance for your consideration.

Yours sincerely,

John Fraser
[REDACTED]
[REDACTED]
[REDACTED]

DATE: June 25, 2025

FILE NO: A07/2025WL

REPORT NO: COA-09-2025

SUBJECT: **Recommendation Report Application for Minor Variance, Peter and Lisa Vogel**

CONTACT: Stephanie Pouliot, Secretary Treasurer to the Committee of Adjustment

OVERVIEW:

A Minor Variance application has been submitted by the property owners, Peter and Lisa Vogel of the subject property located at 953 Boyle Road.

This application is seeking relief from Table 1-2 *Regulations for Accessory Buildings and Structures in Non-Agricultural Zones* (found in Part 3) of the Township's Zoning By-law 2017-70, as amended, to construct a detached accessory building with a total area of 185 square metres and located in the rear yard of the property.

A variance is requested for an increased ground floor area of a building no greater than 185 square metres, whereas, 120 square metres is the maximum ground floor area permitted for an accessory building in a Residential Low Density 'R1A' zone. Therefore, the requested relief is for 65 square metres.

A variance is requested for an increased accessory lot coverage. The subject property currently has a detached private garage (82 square metres) and a chicken coop (8.5 square metres), and with the proposed accessory building, the total accessory lot coverage would be 275.5 square metres. Table 1-2 identifies 200 square metres as the maximum lot coverage for accessory buildings or structures within a residential zone. Therefore, the requested relief is for 75.5 square metres.

In addition, upon further review of the elevation drawings provided after the release of the notice, Staff identified a variance to allow a maximum accessory building height of 6 metres, measured from grade to the midway point between the eaves and the roof and ridge, whereas 5 metres is the maximum permitted.

Staff have reviewed this application against the four tests of a minor variance and can recommend approval subject to the included conditions.

RECOMMENDATION:

That, the application for Minor Variance submitted by the property owners of the subject property, as outlined in Report COA-09-25, to permit the construction of a detached

accessory building with a total ground floor area no greater than 185 square metres, with a height of 6 metres measured from grade to the midway point between the eaves and the roof and ridge, and a maximum accessory lot coverage no greater than 275.5 square metres, BE APPROVED, subject to the following conditions:

1. That the accessory building be shifted off the interior side and rear lot lines to no less than 4 metres.
2. That the Applicant submit a survey sketch and grading plan to the satisfaction of the Township's Building and Growth and Sustainability Departments.

BACKGROUND & SURROUNDING LAND USES:

953 Boyle Road has a total lot size of 0.52 hectares (1.28 acres) located on the east side of Boyle Road. The subject lands are located within the Hamlet of Boyle.

The subject lands are situated on the south side of Canborough Road/Regional Road 63 and south of Concession 1 Road, west of Victoria Avenue (Regional Road 24), north of Wiley Road, and east of East Chippawa Road. The subject lands are also located north east of the Hamlet of Wellandport, south east of the Hamlet of Bismark, and west of the Hamlet of East Boyle.

The majority of the surrounding land uses are designated in the Township's Official Plan as *Hamlet Settlement Area*, *Good General Agricultural Lands* and *Natural Heritage System*. The subject property is located within the Hamlet Settlement Area of Boyle and does not contain any Natural Heritage features.

The surrounding lands are within the Hamlet of Boyle, consisting of primarily single detached dwellings. The majority of the lands surrounding the Hamlet are actively farmed with large farm parcels to the west, south and east with a number of smaller agricultural holdings (varying in lot sizes) on either side of Canborough Road and Boyle Road.

This application is requesting two variances. The first variance is to allow the ground floor area of an accessory building to a maximum of 185 square metres whereas, 120 square metres is the maximum size permitted for accessory buildings within a Residential Low Density 'R1A' zone. Therefore, the requested relief is for 65 square metres.

Additionally, the second variance is for an increase in the maximum lot coverage for accessory buildings and structures on a residential low density 'R1A' lot is identified as 200 square metres. With the existing accessory buildings and structures combined with the proposed new detached accessory building, the accessory lot coverage totals 275.5 square metres. Therefore, the requested relief is 75.5 square metres.

The third variance identified by Staff is for an increase in the building height of an

accessory building within a residential low density 'R1A' zone. Upon reviewing the elevations drawings, the proposed height of the building measured to the roof ridge from grade is 7.1 metres. However, the Zoning By-law identifies in case of a pitched roof, the height shall be measured to the midway point between the eaves of the majority of the roof and the ridge. As such, the proposed height is 5.5 metres measured to the mid-peak although rounded to 6 metres, whereas the maximum is 5 metres.

Therefore, this application requires three variances from Table 1-2 of the Zoning Bylaw. Due to the interpretation of height in the Township's Zoning By-law, the Applicant was unaware of the third variance required from Table 1-2. The elevation drawings showed the wall height and ceiling height measured from the floor rather than from grade. As such, the height appeared to comply with the required 5 metres as follows:

3.66 metres identified as the wall height minus the total height to the ridge being 7.1 metres equals 3.44 metres divided by 2 would be 1.72 metres. By adding 1.72 metres with the 3.66 metres equals 5.4 metres.

According to Part 1.3.5 *Measurements* policy a) *for regulations expressed as a whole number, measurements less than 0.5 shall be rounded downward to the nearest whole number, and measurements greater than 0.5 shall be rounded upward to the nearest whole number.* As such, the 5.4 metres would be rounded downward to comply with the 5 metres. However, as previously noted, the height shall be measured from grade to the midway point between the eaves of the majority of the roof and the ridge which is 5.5 metres. Given Policy 1.3.5a) and standard rounding rules, 5.5 metres rounds to 6 metres, therefore, the requested relief is 1-metre.

Additionally, the Applicant indicated that the new accessory building is intended to store their trailers and recreational vehicle (camper) within a secure space on their property, and requires the larger building and height to accommodate the items.

The Applicant has also noted that given the existing detached garage and chicken coop on the property, the proposed building is not able to comply with the maximum accessory lot coverage requirement.

CURRENT SITUATION:

Planning Staff have completed an analysis of the proposed Minor Variance application and can provide the following evaluation:

Does the Proposal Maintain the General Intent of the Official Plan? Yes

The subject property is designated as *Hamlet Settlement Area* in the Township's Official Plan (OP), specifically located in the Hamlet of Boyle. Lands located within the Hamlet Settlement Area Designation (Section 7) are intended for residential and associated commercial, institutional, and recreational uses. The predominant use of land within Hamlets are single-detached dwellings and associated accessory uses, buildings, and

structures as well as, other uses (commercial and institutional) necessary to serve the Hamlet and the surrounding agricultural area and rural community.

The proposed accessory building is permitted in conjunction with the existing residence and is required to store items associated with the residential use on the property.

For these reasons, this proposal is in alignment with the general intent and purpose of the Township's OP policies.

**Does the proposal maintain the general intent and purpose of the Zoning By-law?
Yes**

The subject property is zoned Residential Low Density 'R1A' with a total lot size of 0.52 hectares (1.28 acres). The principal use of the property is the existing single detached dwelling which is permitted to have secondary uses including accessory buildings and structures. The property already has a detached private garage (82 square metres) and a chicken coop (8.5 square metres). The Applicants are now looking to construct a new accessory building to store their trailers, a camper, and other items associated with the residence.

It is important to note, the existing chicken coop is considered an accessory structure in the Township's Zoning By-Law and as such, this property will comply with the maximum accessory building regulation for a 'R1A' zoned lot, being no more than 2 accessory buildings.

As outlined in Table 13 (found in Part 6 *Residential Zones*) of the Township's Zoning By-law 2017-70, as amended, accessory buildings and structures are permitted in conjunction with a permitted principal use and therefore the proposed accessory building is permitted.

The first requested variance is to allow for an increase in the ground floor area of an accessory building to 185 square metres whereas, 120 square metres is the maximum size permitted.

Table 1-2 also identifies 200 square metres as the maximum accessory lot coverage for a residential low density 'R1A' lot. With the existing accessory buildings and structures noted above, the total accessory lot coverage totals 275.5 square metres. Therefore, the requested relief is 75.5 square metres.

Additionally, as previously mentioned, Staff identified a third variance required from Table 1-2 for the proposed height of the new accessory building. The proposed height measured from grade to the midway point between the eaves of the majority of the roof and the ridge is 5.5 metres, rounded to 6 metres in accordance with Policy 1.3.5a) of the Township's Zoning Bylaw and standard rounding rules.

The applicable provisions in Part 3.12.7 *Private Garages* of the Township's Zoning By-

law are being satisfied by this proposal. Staff have completed a thorough review of the proposed construction and aside from the identified variances, the proposed accessory building complies with the remainder of the required setbacks identified in Table 1-2 in Part 3 and Table 14 in Part 6 of the Township's Zoning By-law.

However, Staff have included a condition of approval with an amended minimum interior side and rear yard setback no less than 4 metres from the closest property lines. The Applicant has proposed an interior side yard and rear yard setbacks of 2 metres which does comply with the 1.2-metre requirement identified by Table 1-2. Although, as a variance is being requested to allow an increased building size, it is of Staff's opinion that a larger setback would be appropriate to improve any potential visual impacts and help alleviate drainage concerns with the existing topography (slope) between the two properties.

For these reasons, this proposal maintains the general intent and purpose of the Township's Zoning By-law regulations, subject to the conditions of approval.

Is the Proposal desirable for the appropriate development or use of the land? Yes

This proposal is considered to be appropriate development and use of land since the property is permitted to have accessory buildings and structures in conjunction with a principal residential use.

The new accessory building is proposed in the rear yard. There are mature trees along the south and west property lines which provides a vegetative buffer/screening from the public street (Boyle Road). There is also a row of young shrubs along the north shared property line which provides a slight vegetation buffer between the proposed construction site and the neighbour's residence and rear yard. As these shrubs grow, there will be more screening between the new accessory building and neighbouring property.

Additionally, the rear yard is also large enough to accommodate the amended interior side and rear yard setbacks of 4 metres. Given the drainage concerns received and the request for a larger accessory building size, it is of Staff's opinion that a setback of 4 metres is more appropriate for the proposed construction than the proposed 2 metres. The property is large enough to accommodate the amended 4-metre interior and rear yard setbacks to help alleviate any potential impacts to the neighbours

Staff note that the public comments received indicated there is an existing drainage concern and have informed the Township's Building Department Staff. Once Staff receive the grading information (at the time of the building permit), Building Staff will review the existing drainage pattern and proposed new grades and recommend improvements to avoid adverse effects to the abutting properties.

Furthermore, upon a visual view of the surrounding area, Staff have identified several properties that have similar sized accessory buildings located within the exterior or rear

yard, with varying heights. For example, the north neighbouring property has a detached accessory building of approximately 178 square metres. Two properties north of 953 Boyle Road has a large detached accessory building of approximately 225 square metres and the property at the corner of Canborough Road and Boyle Road / Concession 1 Road has a detached accessory building of approximately 186 square metres.

Given the surrounding accessory buildings within the Hamlet of relatively similar sizes and locations, the proposed accessory building being a permitted secondary use in conjunction with the existing dwelling, and that an amended interior and rear yard setback of 4 metres has been included as a condition of approval, this proposal can be considered appropriate development and use of the lands.

Is the proposal minor in nature? Yes

This proposal can be considered minor in nature as the general intent of the Township's Official Plan and Zoning By-law provisions are being maintained. The proposed accessory building of 185 square metres is compatible with the existing detached accessory buildings within the Hamlet. The proposed height is a minor alteration of 1-metre to accommodate the height of the Applicant's trailers and camper that will be stored in the building. The proposed height is relatively consistent with the existing accessory buildings within the Hamlet.

Additionally, the requested relief for an increase in the maximum accessory lot coverage from the required 200 square metres to 275.5 square metres (difference of 75.5 square metres) is considered to be minor. The combined accessory buildings and structures with the existing dwelling on the property has a total combined lot coverage of 7.3% which is well below the maximum 20% permitted for a 'R1A' lot within a Hamlet. As such, this proposal will not create an unfavourable condition; the property has plenty of usable private amenity space and room to accommodate the amended setback which will ensure adequate distance separations between the two properties and the existing buildings.

The subject property is also surrounded by mature trees and has a natural existing vegetative screening between the abutting properties and from the public street which minimizes the impact on the surrounding area. From a visual perspective, it would be difficult to distinguish the varied height, increased building size and exceeding accessory lot coverage included in this proposal.

Furthermore, the overall impact from this proposal towards the surrounding area is minor given the existing vegetation buffer, the accessory building proposed in the rear yard, and Staff's recommendation for the amended interior side and rear yard setbacks of 4 metres. For these reasons, this proposal is minor in nature and Staff are satisfied that the 4 tests a minor variance have been met.

INTER-DEPARTMENTAL & AGENCY COMMENTS:

Building Department: Have reviewed the application and offers no objections to the proposals. Given the size of the building, a survey sketch/grading plan will be required at the time of the building permit application.

Operations Department (formerly Public Works and Engineering): Have reviewed the application and offers no comments or objections.

Septic System Inspection Manager: Has reviewed the application as submitted and offers no objections.

Niagara Peninsula Conservation Authority (NPCA): Have reviewed the application and based on the NPCA's current mapping, offer no concerns or objections as the property does not contain any NPCA regulated features.

Niagara Region: Have reviewed the application and offers no comments as they have no interest in this matter.

PUBLIC COMMENTS:

At the time of writing this report, there has been one public comment received by the neighbouring property to the north (most affected by the new accessory building). The abutting neighbour mentioned concerns with drainage, as there is a slope between the two properties and drainage issues occur in the spring and fall from the abutting farm parcel to the east of these properties.

Given the noted concern, Staff recommended the amended interior and rear yard setbacks to no less than 4 metres to allow more of a buffer between the two properties.

These concerns have been shared with the Township's Building Department Staff. At the time of the building department, as standard practice, Staff require grading information and will review how drainage will be handled and directed. At that time, the Applicant will have the required survey sketch/grading plan available for Staff to review the grading between the two lots and offer recommendations for improvements.

CONCLUSION:

Based on the above analysis, Planning Staff recommend APPROVAL of the proposed Minor Variance Application (A07/2025WL) as outlined in Report COA-09-25, to permit the construction of a detached accessory building with a maximum ground floor area no greater than 185 square metres, a maximum accessory lot coverage no greater than 275.5 square metres, and maximum accessory building height of 6 metres measured from grade to the midway point between the eaves and the roof and ridge, subject to the conditions of approval.

1. That the accessory building be shifted off the interior side and rear lot lines to no less than 4 metres.
2. That the Applicant submit a survey sketch and grading plan to the satisfaction of the Township's Building and Growth and Sustainability Departments.

ATTACHMENTS:

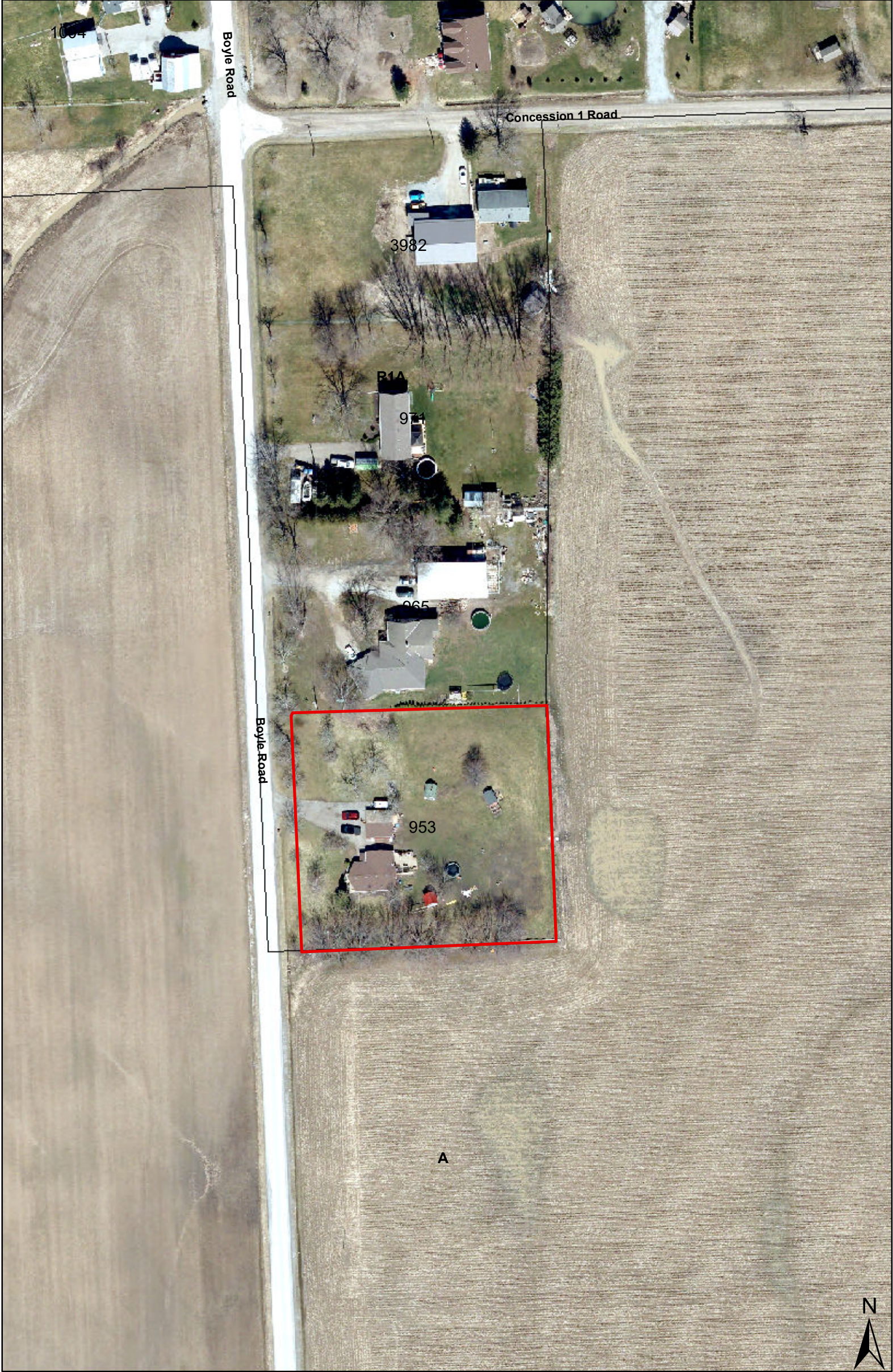
1. Location Map
2. Site Plan
3. Building Drawings
4. Public Comment

Prepared & Submitted by:

**Stephanie Pouliot
Planner**

Approved by:

**Susan Smyth, CPT
Manager, Community Planning and Design**



Location Map
953 Boyle Road

West Lincoln
Your Future Naturally

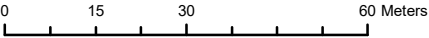
Legend



Zone Boundary



Subject Property



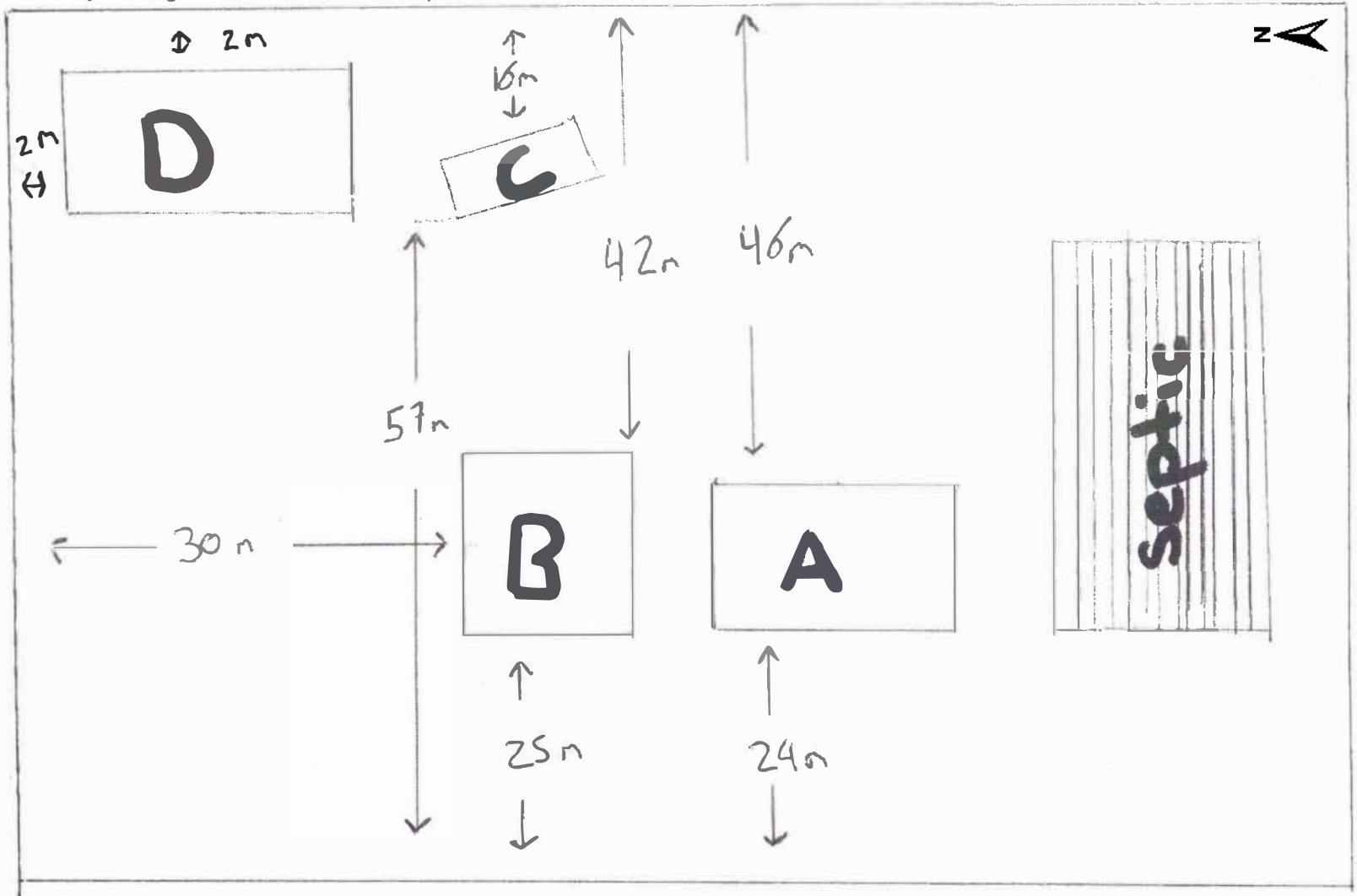
May 2025

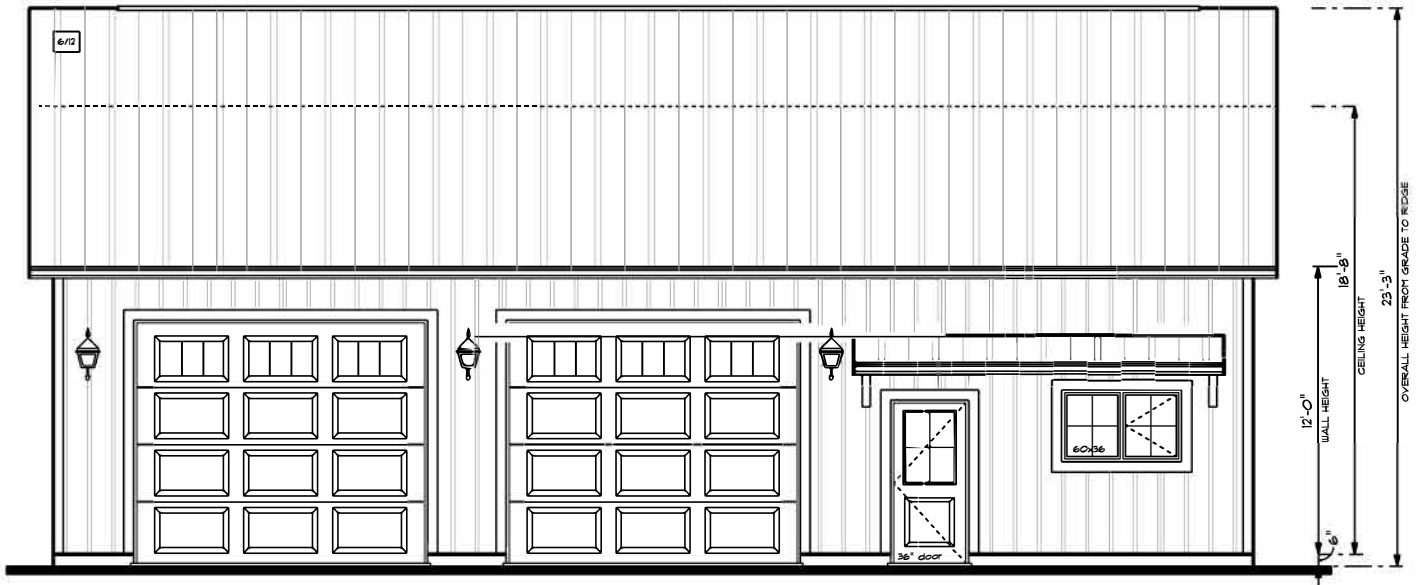
A Existing Home 10.9m x 9.7m =105.73 sq m

B Existing Garage 11.6m x 7.1m= 82.36 sq m

C Existing Chicken Coop 3.6m x 2.4m= 8.64sq m

D Proposed new Accessory Building 15.15m x 12.12m = 183 sq m





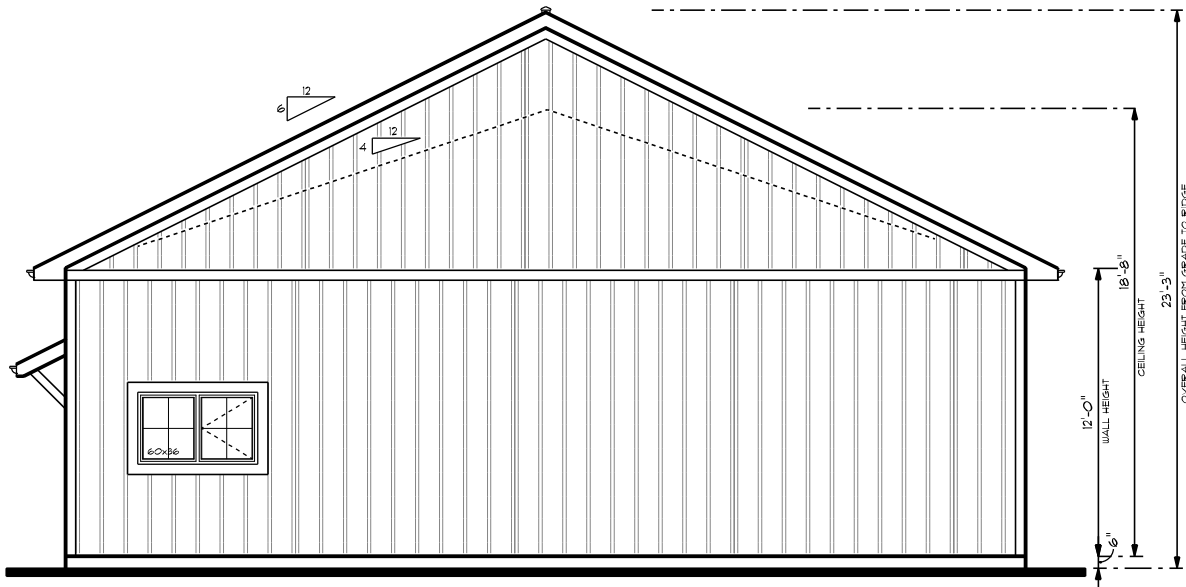
FRONT ELEVATION "B"

-NOT FOR CONSTRUCTION- SCALE: NTS
 Z:\Projects\GARAGES & POLE BARNS\Vogel\
 April 9, 2025
 Rijus Home Design Inc. Jason Schilstra (K.B)
 www.rijus.com 905-701-1110



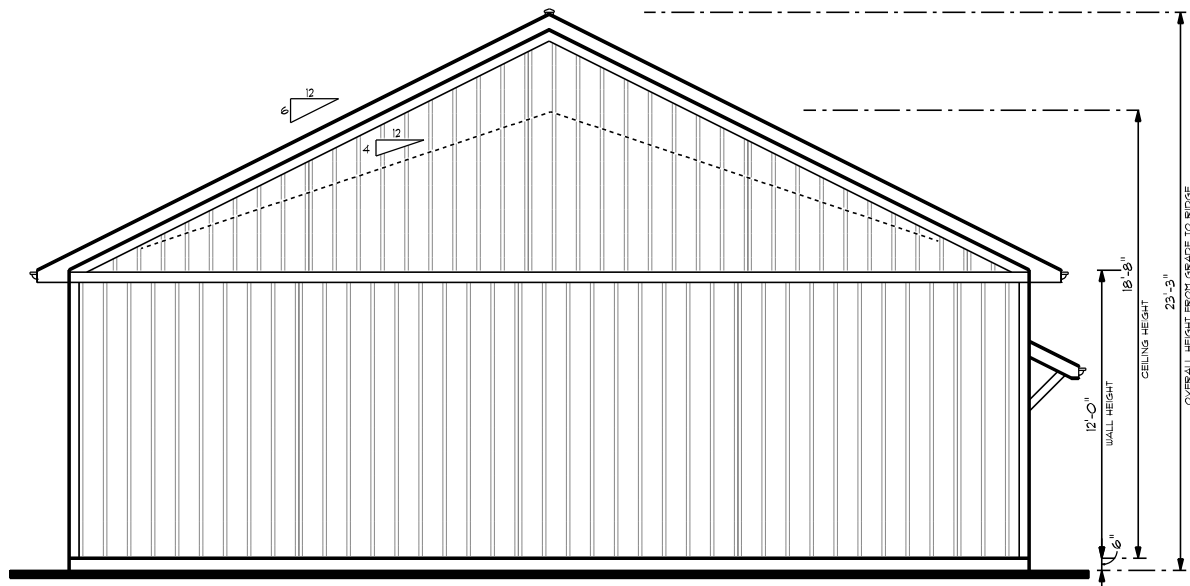
REAR ELEVATION "B"

-NOT FOR CONSTRUCTION- SCALE: NTS
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 April 9, 2025
 Rijus Home Design Inc. Jason Schilstra (K.B)
 www.rijus.com 905-701-1110



RIGHT ELEVATION "B"

-NOT FOR CONSTRUCTION- SCALE: NTS
 Z:\Projects\GARAGES & POLE BARNS\Vogel\
 April 9, 2025
 Rijus Home Design Inc. Jason Schilstra (K.B)
 www.rijus.com 905-701-1110



LEFT ELEVATION "B"

-NOT FOR CONSTRUCTION- SCALE: NTS
 Z:\Projects\GARAGES & POLE BARNS\Vogel\
 April 9, 2025
 Rijus Home Design Inc. Jason Schilstra (K.B)
 www.rijus.com 905-701-1110

Stephanie Pouliot

From: Tom and Amanda Koopman [REDACTED] >
Sent: June 4, 2025 7:07 PM
To: Stephanie Pouliot
Subject: RE:953 boyle road application for minor variance

Hello Stephanie,

In regards to the outbuilding being constructed at 953 Boyle road,

Our only concern with this project is this..,

If the building is close to our property line, then roof drainage would be a concern to us as our property is considerably lower than 953 Boyle rd. The 953 Boyle road property slopes considerably towards ours.

If the roof is drained to the field, that may be a solution however the southeast corner of our property is often wet and under water in the spring and fall because the field behind our house also slopes to our direction.

We also have a french drain in the southeast corner which our sump pump empties into, so any more drain load in that area could be a concern.

Our septic bed is also in our back yard and easily gets saturated in the spring and fall.

If the owners of 953 Boyle rd can direct the roof water away from the southeast corner of our property or send it to the front ditch, then we have no issue with this build.

Sincerely,

Tom and Amanda Koopman